



# STAFF REPORT

DATE: 05/28/2025  
TO: Honorable Chair and Commissioners  
FROM: Planning and Development Department

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**2025-203**

**APPLICATION REQUEST:**

**CUPM2024-0002:** Application to modify Conditional Use Permit CUP92-02 to replace an existing 62-foot-tall wireless telecommunication tower with a new 67-foot-tall wireless telecommunications tower disguised as a eucalyptus tree, located at 1660 Leeson Lane (APN 107-320-015) in the M-3 (Heavy Manufacturing) Zone. (Applicant: Kerrigan Diehl, Plancom Inc. on behalf of Verizon Wireless, 16776 Bernardo Center Drive #203, San Diego, CA 92128)

**RECOMMENDED ACTION:**

That the Planning and Housing Commission find the project exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15302(c), and adopt Resolution No. 2667, GRANTING CUPM2024-0002 based on the findings contained in the staff report and conditions of approval.

**PROJECT SITE SUMMARY:**

**Area of Property:** 5.87 acres

**Existing Zoning:** M-3 (Heavy Manufacturing)

**Existing General Plan:** GI (General Industrial)

**Existing Land Use:** GI (General Industrial)

**Proposed Land Use:** GI (General Industrial)

**Surrounding Zoning/Land Uses:**

**N:** M-3 (Heavy Manufacturing) / Vacant

**E:** M-3 (Heavy Manufacturing) / Industrial

**EXHIBIT 3**

**S:** M-3 (Heavy Manufacturing) / Industrial

**W:** M-3 (Heavy Manufacturing) / Vacant

## **BACKGROUND**

### Project Background

Conditional Use Permit Modification CUPM2024-0002 was submitted to the City on April 30, 2024 and reviewed by the Project and Environmental Review Committee on July 3, 2024. The proposal was submitted by Plancom Inc. on behalf of Verizon Wireless to demolish an existing wireless telecommunications facility comprised of a 62-foot-tall monopole and associated ground equipment and construct a replacement tower designed as a eucalyptus tree (“mono-eucalyptus”) in conjunction with a new walled enclosure containing accessory equipment. The project site is located at 1660 Leeson Lane and zoned M-3 which is a heavy manufacturing zone (Exhibit 2). The site is currently developed with an industrial building owned and operated by the Mission Rubber Company.

The property’s existing monopole was approved in 1992 pursuant to CUP92-02, with the tower portion of the structure owned by American Tower Company (ATC). The mounted antennas and associated ground equipment are owned and operated by Verizon Wireless. Mission Rubber Company has requested that the monopole be moved, and so with forthcoming demolition, Verizon has proposed construction of a new tower to be located just slightly to the east of the existing tower but ultimately within the same property.

To ensure that no service interruptions occur during construction of the new mono-eucalyptus, Verizon proposes construction and temporary operation of a 62-foot-tall monopole, with associated ground-mounted equipment located adjacent to the proposed (permanent) tower. The temporary facility would be operational for no more than two years from the approval date of this CUP and removed from the property either upon expiration of the CUP at the end of the permit’s two-year term or prior to Verizon receiving final release for the new mono-eucalyptus, whichever comes first.

The subject property is located within the boundaries of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) which is a regulatory document created by the Western Riverside County Regional Conservation Authority (RCA) focusing on the preservation of land to support threatened plants and wildlife. Certain properties within the MSHCP have been determined to have a greater likelihood to contain such species and are designated as “Criteria Cells,” requiring that proposed development complete a Joint Project Review (JPR) with the RCA to determine whether any set-aside and permanent conservation of land is required. As the subject property is located within Criteria Cell No. 1826, a Biological Assessment and MSHCP Consistency Analysis was prepared by Merkel & Associated, Inc. (March 2025) and submitted to the RCA for review as JPR25-02-12-03. On March 31, 2025, the RCA determined the proposed scope of work to be consistent with all criteria enumerated in the MSHCP and that no conservation of land is required.

### Local and Federal Regulations

Telecommunications facilities are currently allowed within any zone. Per the City's adopted Location, Development, and Design Guidelines and Standards for Telecommunications Facilities, the preferred order of location shall be: 1) industrial zones, and then 2) commercial zones. The Guidelines also state that such facilities should be indistinguishable from their surrounding environment and placed in locations where existing topography, vegetation, buildings or other structures provide the greatest amount of screening. The Guidelines dictate that support structures for telecommunications facilities must be screened from view by placing them next to tall buildings or structures, or near existing tall trees and other dense landscaping. Although there are no trees on the project site, several mature eucalyptus and pine trees are located approximately 300 feet to the east along South Temescal Street.

Telecommunications facilities are also regulated nationally by the Federal Communications Commission (FCC) and the Telecommunications Act of 1996. When considering and determining an application for the establishment of a new facility, it should be noted that local government is prohibited by law from considering health effects from radio frequency emissions.

### **PROJECT DESCRIPTION**

CUPM2024-0002 is an application to remove and replace an existing telecommunications facility with a new facility designed as a mono-eucalyptus to stand 67 feet tall on a 5.87-acre project site. The following sections discuss the proposal in greater detail.

#### Site Plan

As shown in the project Site Plan (Exhibit 3, Sheets A-0 and A-1), the proposed mono-eucalyptus is located on the southeastern corner of the project site, which is also the rear of the property. A 271-square-foot enclosure containing accessory equipment and surrounded by an eight-foot-tall block wall is also proposed and would be located adjacent to the new tower. More broadly, all proposed development would be located approximately 680 feet south of Leeson Lane, 330 feet west of South Temescal Street, and 1,000 feet from (street) All American Way.

The property's M-3 zoning prescribes no minimum side or rear yard setback requirements, and a maximum height of 40 feet. However, the height may be increased by one foot for every one foot of setback from the property line not exceeding 55 feet. An even greater height may be permitted by the Planning Commission subject to approval of a CUP (CMC Section 17.65.060 [a]). The centerline of the mono-eucalyptus pole would be located 15 feet from the side and 34 feet from the rear property lines and exceed the maximum height of the zone by 12 feet.

Updated service coverage with the installation of the new tower is illustrated in propagation maps attached as Exhibit 6. Before and during construction of the new 67-foot tall mono-eucalyptus, a 62-foot-tall temporary monopole intended to maintain Verizon's provision of

service is proposed adjacent to the location of the permanent facility. The temporary tower and associated equipment would be surrounded by a temporary eight-foot-tall chain-link enclosure. Plans for the temporary facility are attached as Exhibit 4.

#### Antennas and Screening

The mono-eucalyptus is comprised of a support pole - serving as the “trunk” of the faux tree - and three separate, mounted antenna sectors. There will be a total of 12 antenna panels, six Remote Radio Units (RRU), and three Raycap surge suppressor units mounted onto the antenna sectors, all at a height of 62 feet above grade level. Additionally, a microwave antenna measuring a four-feet in diameter will be mounted onto the support pole at a height of approximately 48 feet. Numerous faux branches will be mounted to the tower’s support pole, projecting outward to a minimum of one foot, six inches beyond the extent of all antennas. The antenna panels, RRUs, Raycap units and microwave antenna are required to be painted green to match the color of the branches. Additionally, the antennas are required to be covered with “socks” that are textured to match the tree’s foliage. The screening elements are standard requirements for faux tree designs. The antenna layout plan and elevations for the mono-eucalyptus are attached as Exhibit 3, Sheets A-3 and A-4; photo-simulations of the tower are attached as Exhibit 5.

While Verizon is currently the only cellular carrier proposed to operate from the tower, the structure can accommodate a second set of antennas should another wireless carrier wish to collocate in the future.

#### Access and Maintenance

Access to the project site will remain unchanged from Leeson Lane. Internal access through the site will be on existing asphalt and will accommodate a service technical vehicle onsite when periodic maintenance is conducted. Typical maintenance occurs remotely, and an on-site inspection anticipated to occur every three months.

#### **ENVIRONMENTAL ANALYSIS:**

Per Section 15302(c) (Replacement or Reconstruction) of the State Guidelines for Implementing the California Environmental Quality Act (CEQA) and Section 3.31 of the City’s Local CEQA Guidelines, a Notice of Exemption has been prepared for the project as the project qualifies as a Class 2 (Replacement or Reconstruction) categorical exemption. The project proposes the replacement of an existing wireless facility with a new facility of substantially the same size, purpose and capacity. The Notice of Exemption is attached as Exhibit 9.

#### **FISCAL IMPACT**

The applicant has paid the applicable application processing fees for the project.

#### **PUBLIC NOTICE AND COMMENTS**

A 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site.

As of the preparation of this report, the Planning and Development Department has not received any correspondence regarding the subject project.

### **STAFF ANALYSIS**

The project has been found to comply with all development standards enumerated within the Corona Municipal Code and the Location, Development, and Design Guidelines and Standards for Telecommunications Facilities, which prioritize industrial zones as the preferred location for telecommunications facilities and require towers to be disguised so that they blend with their surroundings. Existing live eucalyptus trees are located along nearby Temescal Street, helping the mono-eucalyptus blend with its environment. Also, the tower's eucalyptus design would improve the aesthetics of the tower compared to the existing wood monopole design which incorporates no stealth elements.

The project site is capable of accommodating the new tower, associated accessory equipment, as well as the temporary tower. Planning Condition No. 14 ensures that the temporary tower will be removed within a certain timeframe whether the permanent tower is constructed or not. The project site is immediately surrounded by industrial land uses. The nearest residential land use is a mobile-home park which is located approximately 380 feet to the east and separated from the project site by industrial buildings and Temescal Street. Therefore, visual impacts related to the new telecommunications facility are expected to be minimal.

The Planning and Development Department recommends approval of CUPM2024-0002 based on the findings of approval below and the recommended conditions of approval attached as Exhibit 7.

### **FINDINGS OF APPROVAL FOR CUPM2024-0002**

1. A preliminary exemption assessment has been conducted by the City of Corona and determined that the project does not require further environmental assessment as it qualifies for a Class 2 Categorical Exemption per Section 15302(c) of the State Guidelines for Implementing the California Environmental Quality Act (CEQA) and Section 3.31 of the City's Local CEQA Guidelines. According to the State Guidelines, Class 2 categorical exemptions consist of the replacement or reconstruction of existing facilities where the new structure will be located on the same site as the replaced structure and will have substantially the same purpose and capacity as the structure replaced. The project proposes the replacement of an existing wireless facility with a new facility of substantially the same size, purpose and capacity.

2. Pursuant to Section 17.92.110 (a) of the CMC, the proposed use will not be detrimental to the public health, safety, convenience and general welfare and will be in harmony with the various elements and objectives in the city's General Plan for the following reasons:
  - a. *Radiofrequency emissions from the installation of telecommunications facilities are found to comply with the limits placed by the Federal Communications Commission (FCC) for human exposure.*
  - b. *The proposed telecommunications facility is required to adhere to FCC regulations, and the applicant is required to obtain all required permits from local and federal agencies prior to construction.*
  - c. *The telecommunications facility is consistent with the General Plan Policy IU-8.2 in that it provides for continued development and expansion of telecommunication systems for users within the service radius of the telecommunications facility.*
  
3. Pursuant to Section 17.92.110(b) of the CMC, the proposed use is not detrimental to the other existing and permitted uses in the general area of the project site, and it relates properly to the surrounding roadways for the following reasons:
  - a. *The wireless telecommunications facility is located on property zoned M-3, Heavy Manufacturing, consisting of an existing single-story building, parking lot, onsite loading activities and landscaping, which is similar to the existing land uses and development in the general area as the surrounding properties are also zoned M-3 and developed similar to the project site.*
  - b. *The wireless telecommunications facility adheres to the City's Wireless Telecommunications Design Guidelines because it is designed to resemble a eucalyptus tree, making it indistinguishable from the surrounding environment and utilizing state-of-the-art technology, to integrate with the surrounding environment.*
  - c. *The wireless telecommunications facility is required to meet FCC regulations, and the building standards of the California Building Code in order not to impact the use of the project site and the uses surrounding the project site.*
  - d. *The wireless telecommunications facility will not impact the existing circulation system because a service technician will only be visiting the site periodically throughout the year, and the site provides access through Leeson*

*Lane to accommodate such activity. Therefore, such use does not impact the level of service on the surrounding streets.*

4. Pursuant to Section 17.92.110 (c) of the CMC, reasonable conditions of approval have been imposed on the proposed use to protect public health, safety, and welfare and to ensure compliance with the applicable rules and regulations for telecommunications facilities, the development standards of the M-3 (Heavy Manufacturing) zone, the requirements of Chapter 17.65, Telecommunications Facilities, and compliance with the City Wireless Telecommunications Design Guidelines.
5. Pursuant to Section 17.92.110 (d) of the CMC, the exercise of the proposed use adheres to all property development standards of the zone in which said use is conditionally permitted for the following reasons:
  - a. *The location of the telecommunications facility on the project site meets all building setbacks as required by the M-3 zone.*
  - b. *The 67-foot tall telecommunications facility is consistent with the M-3 zoning requirements of Title 17 because CMC Section 17.65.060 (a) allows the height of the telecommunications facility to exceed the maximum height prescribed by the property's underlying zone with approval of a conditional use permit.*
  - c. *The appearance of the telecommunications facility as a mono-eucalyptus tree meets the requirements of the design guidelines and standards adopted pursuant to CMC Section 17.65.090 as it would serve to make the facility indistinguishable from the surrounding environment and; the equipment affiliated with the telecommunications facility will be screened by an eight-foot-tall block wall enclosure.*

**PREPARED BY:** BRENDAN DALDE, ASSOCIATE PLANNER

**REVIEWED BY:** EVAN LANGAN, AICP, SENIOR PLANNER

**REVIEWED BY:** SANDRA VANIAN, PLANNING MANAGER

**SUBMITTED BY:** JOANNE COLETTA, PLANNING AND DEVELOPMENT DIRECTOR

Exhibits:

1. Resolution No. 2667
2. Locational and Zoning Map

3. Site Plan, Elevations, Antenna & Equipment Layout
4. Temporary Site Plan, Elevations, Antenna & Equipment Layout
5. Photo-simulations
6. Propagation Maps
7. Conditions of Approval
8. Applicant's Project Narrative Documentation, dated October 23, 2024
9. Environmental Documentation

Case Planner: Brendan Dalde (951) 739-4918



**RESOLUTION NO. 2667**

**APPLICATION NUMBER: CUPM2024-0002**

**A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING CONDITIONAL USE PERMIT MODIFICATION 2024-0002 (CUPM2024-0002), AN APPLICATION TO MODIFY CUP92-02 TO REPLACE AN EXISTING 62-FOOT-TALL WIRELESS TELECOMMUNICATION TOWER WITH A NEW 67-FOOT-TALL WIRELESS TELECOMMUNICATIONS TOWER DISGUISED AS A EUCALYPTUS TREE, LOCATED AT 1660 LEESON LANE (APN 107-320-015) IN THE M-3 (HEAVY MANUFACTURING) ZONE. (APPLICANT: KERRIGAN DIEHL, PLANCOM INC. ON BEHALF OF VERIZON WIRELESS)**

**WHEREAS**, the application to the City of Corona, California, for a Conditional Use Permit Modification 2024-0002 (CUPM2024-0002) to modify CUP92-02 under the provisions of Chapter 17.92 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission to replace an existing 62-foot-tall wireless telecommunication tower originally approved in 1992 with a new 67-foot-tall wireless telecommunications tower disguised as a eucalyptus tree, located at 1660 Leeson Lane (APN 107-320-015) in the M-3 (Heavy Manufacturing) Zone; and

**WHEREAS**, the Planning and Housing Commission held a noticed public hearing for CUPM2024-0002 on May 28, 2025, as required by law; and

**WHEREAS**, the Planning and Housing Commission finds that this project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302(c) of the State CEQA Guidelines and Section 3.31 of the City of Corona Local Guidelines for Implementing CEQA because there is no possibility that the activity may have a significant effect on the environment; and

**WHEREAS**, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting the Conditional Use Permit Modification as set forth

**EXHIBIT 1**

in Corona Municipal Code Section 17.92.110 do exist in reference to CUPM2024-0002 based on the evidence presented to the Commission during said hearing; and

**WHEREAS**, the Planning and Housing Commission based its recommendation to approve CUPM2024-0002 on certain conditions of approval and the findings set forth below.

**NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:**

**SECTION 1. CEQA Findings.** As the decision-making body for CUPM2024-0002, the Planning and Housing Commission has determined that this project does not require further environmental assessment because the project qualifies as a categorical exemption under CEQA per Section 15302(c) of the State CEQA Guidelines and Section 3.31 of the City of Corona adopted Local Guidelines for implementing CEQA. There is no evidence presented to the city that the project will have any significant effects on the environment.

**SECTION 2. Conditional Use Permit Modification Findings.** Pursuant to Corona Municipal Code (“CMC”) Section 17.92.110 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. A preliminary exemption assessment has been conducted by the City of Corona and determined that the project does not require further environmental assessment as it qualifies for a Class 2 Categorical Exemption per Section 15302(c) of the State Guidelines for Implementing the California Environmental Quality Act (CEQA) and Section 3.31 of the City’s Local CEQA Guidelines. According to the State Guidelines, Class 2 categorical exemptions consist of the replacement or reconstruction of existing facilities where the new structure will be located on the same site as the replaced structure and will have substantially the same purpose and capacity as the structure replaced. The project proposes the replacement of an existing wireless facility with a new facility of substantially the same size, purpose and capacity.
2. Pursuant to Section 17.92.110 (a) of the CMC, the proposed use will not be detrimental to the public health, safety, convenience and general welfare and will be in harmony with the various elements and objectives in the city’s General Plan for the following reasons:
  - a. *Radiofrequency emissions from the installation of telecommunications facilities are found to comply with the limits placed by the Federal Communications Commission (FCC) for human exposure.*
  - b. *The proposed telecommunications facility is required to adhere to FCC regulations, and the applicant is required to obtain all required permits from local and federal agencies prior to construction.*
  - c. *The telecommunications facility is consistent with the General Plan Policy IU-8.2*

*in that it provides for continued development and expansion of telecommunication systems for users within the service radius of the telecommunications facility.*

3. Pursuant to Section 17.92.110(b) of the CMC, the proposed use is not detrimental to the other existing and permitted uses in the general area of the project site, and it relates properly to the surrounding roadways for the following reasons:
  - a. *The wireless telecommunications facility is located on property zoned M-3, Heavy Manufacturing, consisting of an existing single-story building, parking lot, onsite loading activities and landscaping, which is similar to the existing land uses and development in the general area as the surrounding properties are also zoned M-3 and developed similar to the project site.*
  - b. *The wireless telecommunications facility adheres to the City's Wireless Telecommunications Design Guidelines because it is designed to resemble a eucalyptus tree, making it indistinguishable from the surrounding environment and utilizing state-of-the-art technology, to integrate with the surrounding environment.*
  - c. *The wireless telecommunications facility is required to meet FCC regulations, and the building standards of the California Building Code in order not to impact the use of the project site and the uses surrounding the project site.*
  - d. *The wireless telecommunications facility will not impact the existing circulation system because a service technician will only be visiting the site periodically throughout the year, and the site provides access through Leeson Lane to accommodate such activity. Therefore, such use does not impact the level of service on the surrounding streets.*
4. Pursuant to Section 17.92.110 (c) of the CMC, reasonable conditions of approval have been imposed on the proposed use to protect public health, safety, and welfare and to ensure compliance with the applicable rules and regulations for telecommunications facilities, the development standards of the M-3 (Heavy Manufacturing) zone, the requirements of Chapter 17.65, Telecommunications Facilities, and compliance with the City Wireless Telecommunications Design Guidelines.
5. Pursuant to Section 17.92.110 (d) of the CMC, the exercise of the proposed use adheres to all property development standards of the zone in which said use is conditionally permitted for the following reasons:
  - a. *The location of the telecommunications facility on the project site meets all building setbacks as required by the M-3 zone.*
  - b. *The 67-foot tall telecommunications facility is consistent with the M-3 zoning requirements of Title 17 because CMC Section 17.65.060 (a) allows the height of the telecommunications facility to exceed the maximum height prescribed by the*

*property's underlying zone with approval of a conditional use permit.*

- c. The appearance of the telecommunications facility as a mono-eucalyptus tree meets the requirements of the design guidelines and standards adopted pursuant to CMC Section 17.65.090 as it would serve to make the facility indistinguishable from the surrounding environment and; the equipment affiliated with the telecommunications facility will be screened by an eight-foot-tall block wall enclosure.*

**SECTION 3. Effective Date.** CUPM2024-0002 will not become effective until the City Council either takes no action on the report or otherwise makes a decision after a City Council initiated review.

**BE IT FURTHER RESOLVED** that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Conditional Use Permit Modification.

Adopted this 28<sup>th</sup> day of May, 2025.



Sarah Longwell, Chair  
Planning and Housing Commission  
City of Corona, California

**ATTEST:**



Belinda Capilla  
Secretary, Planning and Housing Commission  
City of Corona, California

I, Belinda Capilla, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 28<sup>th</sup> day of May, 2025, and was duly passed and adopted by the following vote, to wit:

**AYES:** Longwell, Siqueland, Vernon, & Woody

**NOES:** None

**ABSENT:** None

**ABSTAINED:** None



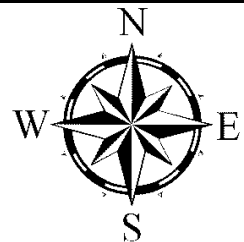
Belinda Capilla  
Secretary, Planning and Housing Commission  
City of Corona, California

# AERIAL & LOCATIONAL MAP



CUPM2024-0002

1660 Leeson Lane



**EXHIBIT 2**

**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	02/28/2023	90% ZD REVIEW	RL
1	06/02/2023	90% ZD DRM COMMENTS	RL
2	06/26/2023	100% ZD	RL
3	11/06/2023	ENCL. SIZE INCREASE	RL
4	12/18/2023	REVISED 90% ZD	RL
5	01/10/2024	100% ZD	RL
6	08/16/2024	CITY STAFF COMMENTS	RL
7	10/21/2024	COMBINED PERM & TEMP	RL

**PLANCOM**  
TELECOMMUNICATIONS PROJECT MANAGEMENT

16776 BERNARDO CENTER DRIVE, UNIT 203  
SAN DIEGO, CA 92128

**PROPRIETARY INFORMATION**

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON

**verizon**  
15505 SAND CANYON AVENUE  
BUILDING C  
IRVINE, CA 92618

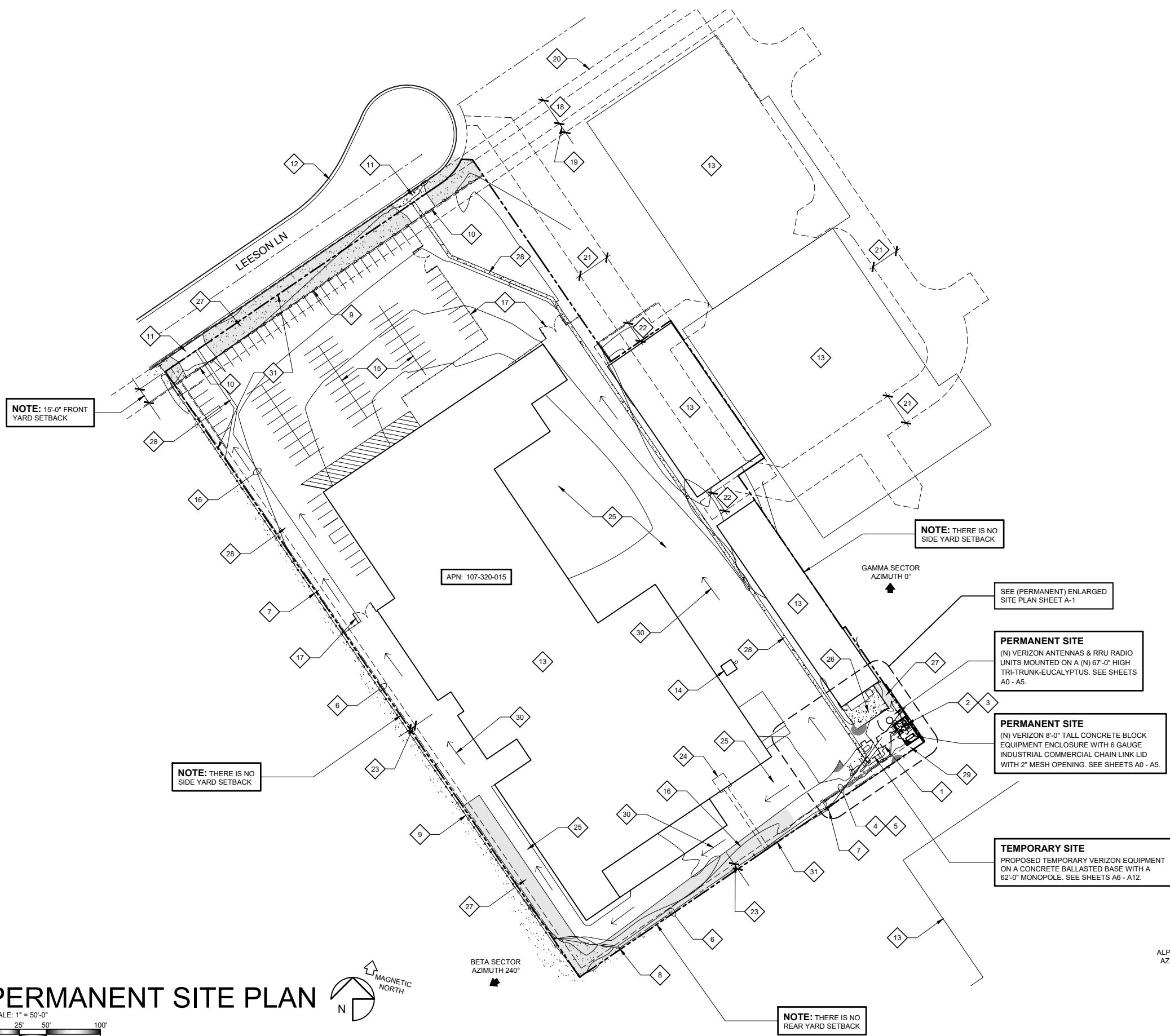
**TEMESCANYON**

PROJECT I.D. : 17276944  
1660 LEESON LANE  
CORONA, CA 92879

SHEET TITLE:  
PERMANENT  
SITE PLAN

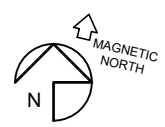
**KEYED NOTES:**

- 1 REMOVE (E) VERIZON EQUIPMENT BUILDING INCLUDING ALL INTERIOR EQUIPMENT, CONCRETE FOUNDATIONS, PADS & LANDINGS (SHOWN DASHED)
- 2 REMOVE (E) VERIZON 62'-0" HIGH WOOD POLE WITH ANTENNAS, RRUS, MOUNTING BRACKETS & CABLES (SHOWN DASHED)
- 3 REMOVE (E) VERIZON CHAIN LINK FENCE ENCLOSURE AROUND WOOD POLE AND PARTIAL CHAIN LINK FENCE ON SOUTHEAST CORNER OF PROPERTY (SHOWN DASHED)
- 4 REROUTE (E) OVERHEAD VERIZON ELECTRICAL SERVICE FROM (E) UTILITY POLE UNDERGROUND TO PROPOSED TEMP LOCATION & TO (N) EQUIPMENT ENCLOSURE
- 5 REROUTE (E) OVERHEAD VERIZON FIBER SERVICE FROM (E) UTILITY POLE UNDERGROUND TO PROPOSED TEMP LOCATION & (N) EQUIPMENT ENCLOSURE
- 6 (E) OVERHEAD UTILITY LINES
- 7 (E) UTILITY POLE (TYPICAL)
- 8 (E) UTILITY POLE WITH TRANSFORMER
- 9 (E) WROUGHT IRON FENCE
- 10 (E) WROUGHT IRON ROLLING GATE
- 11 (E) CONCRETE DRIVEWAY
- 12 (E) CONCRETE CURB & GUTTER
- 13 (E) BUILDING
- 14 (E) 39'-4" TALL FACTORY TOWER (NOT TELECOM)
- 15 (E) ASPHALT PARKING LOT
- 16 (E) CONTOUR LINES @1'-0" INTERVALS
- 17 (E) CHAIN LINK FENCE & GATES WITH BARBED WIRE
- 18 (E) 26'-0" PRIVATE & LESSER RIGHTS STREET EASEMENT
- 19 (E) 10'-0" SCE UTILITIES EASEMENT
- 20 (E) CITY, SCE & SCGC UTILITIES EASEMENT
- 21 (E) WATER, SEWER, PUBLIC UTILITIES, INGRESS & EGRESS ACCESS AND DRAINAGE EASEMENT
- 22 (E) 20'-0" COVENANT AND AGREEMENT NON-BUILDABLE AREA/EASEMENT
- 23 (E) 6'-0" SCE UTILITIES EASEMENT
- 24 (E) SCE UTILITIES EASEMENT
- 25 (E) ASPHALT PAVING
- 26 (E) CONCRETE PAD
- 27 (E) UNPAVED COMPACTED EARTH (SHOWN SHADED)
- 28 (E) CONCRETE DRAINAGE SWALE
- 29 (E) GRAVEL & COMPACTED EARTH AROUND (E) VERIZON SHELTER & POLE
- 30 (E) DRAINAGE PATTERN
- 31 PROPERTY LINE, TYPICAL



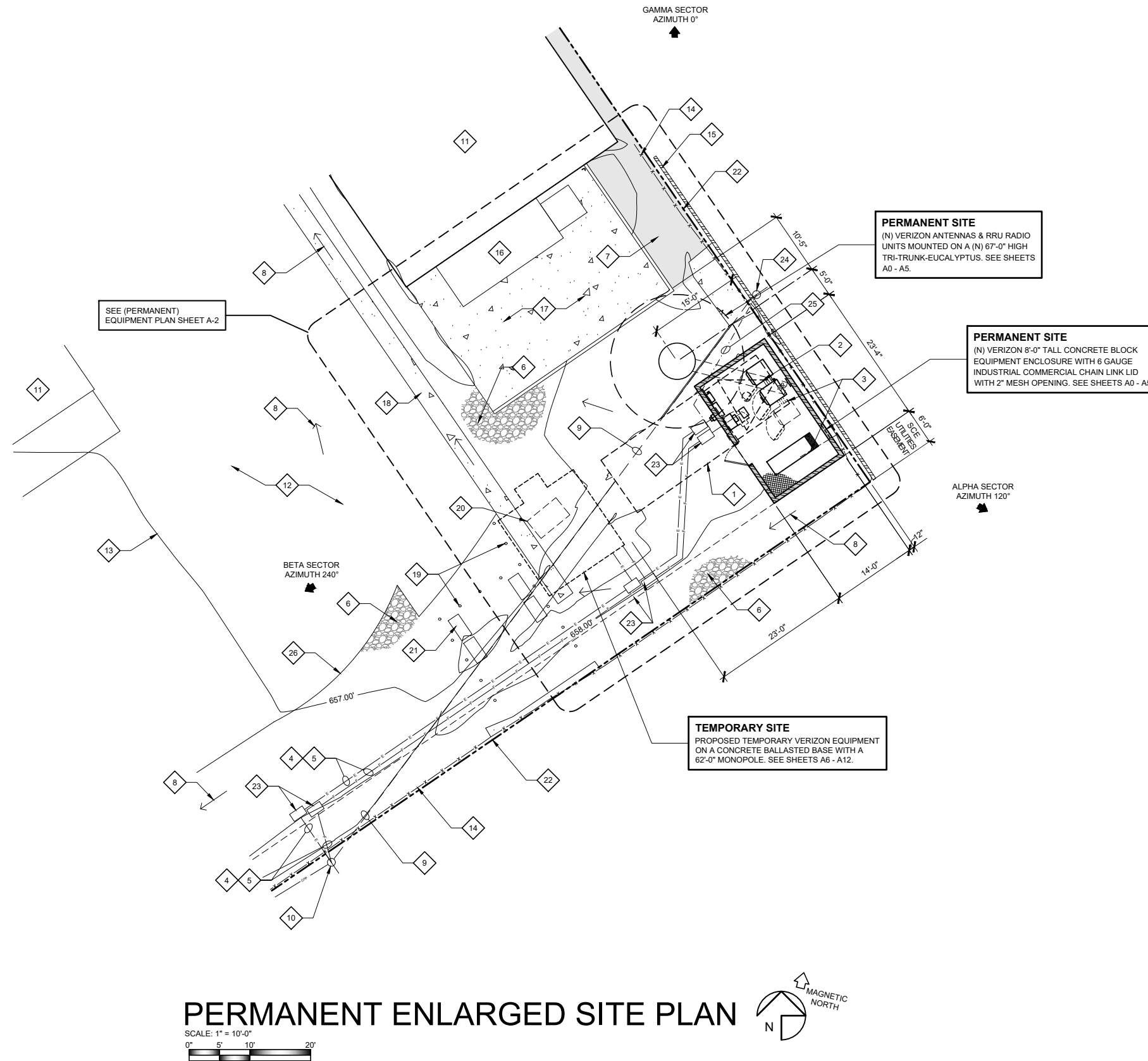
**PERMANENT SITE PLAN**

SCALE: 1" = 50'-0"  
0' 25' 50' 100'



BOUNDARY NOTE:  
THE PROJECT BOUNDARY SHOWN APPROXIMATE AND IS SHOWN FOR COMPLETE BOUNDARY SURVEY W/

**EXHIBIT 3**



**PERMANENT ENLARGED SITE PLAN**

SCALE: 1" = 10'-0"  
 0" 5' 10' 20'



**KEYED NOTES:**

- 1 REMOVE (E) VERIZON EQUIPMENT BUILDING INCLUDING ALL INTERIOR EQUIPMENT, CONCRETE FOUNDATIONS, PADS & LANDINGS (SHOWN DASHED)
- 2 REMOVE (E) VERIZON 62'-0" HIGH WOOD POLE WITH ANTENNAS, RRU'S, MOUNTING BRACKETS & CABLES (SHOWN DASHED)
- 3 REMOVE (E) VERIZON CHAIN LINK FENCE ENCLOSURE AROUND WOOD POLE AND PARTIAL CHAIN LINK FENCE ON SOUTHEAST CORNER OF PROPERTY (SHOWN DASHED)
- 4 REROUTE (E) OVERHEAD VERIZON ELECTRICAL SERVICE FROM (E) UTILITY POLE UNDERGROUND TO PROPOSED TEMP LOCATION & TO (N) EQUIPMENT ENCLOSURE
- 5 REROUTE (E) OVERHEAD VERIZON FIBER SERVICE FROM (E) UTILITY POLE UNDERGROUND TO PROPOSED TEMP LOCATION & (N) EQUIPMENT ENCLOSURE
- 6 (E) GRAVEL & COMPACTED EARTH AROUND (E) VERIZON SHELTER & POLE
- 7 (E) UNPAVED COMPACTED EARTH (SHOWN SHADED)
- 8 (E) DRAINAGE PATTERN
- 9 (E) OVERHEAD UTILITY LINES TO BE RELOCATED UNDERGROUND
- 10 P.O.C. FOR BOTH POWER & FIBER AT (E) UTILITY POLE #1822301E. VERTICAL CONDUIT DROP DOWN POLE TO JOINT TRENCH.
- 11 (E) BUILDING
- 12 (E) ASPHALT DRIVEWAY "NO PARKING" FIRE LANE STRIPES
- 13 (E) CONTOUR LINES @1'-0" INTERVALS
- 14 (E) CHAIN LINK FENCE WITH BARBED WIRE TO REMAIN
- 15 (E) CONCRETE BLOCK WALL TO REMAIN
- 16 (E) COMMERCIAL TRASH COMPACTOR
- 17 (E) CONCRETE LOADING PAD
- 18 (E) CONCRETE DRAINAGE SWALE
- 19 (E) CONCRETE FILLED BOLLARDS TO REMAIN (TYPICAL)
- 20 (E) ABANDONED FUEL TANK TO BE REMOVED BY OWNER (SHOWN DASHED)
- 21 (E) PROPANE TANKS INSIDE METAL STORAGE CAGES TO REMAIN
- 22 PROPERTY LINE, TYPICAL
- 23 (N) 17" x 30" HANDHOLES WITH CONCRETE COVER (3) FOR FIBER, (3) FOR POWER, (6) TOTAL
- 24 (E) LIGHT STANDARD TO REMAIN
- 25 (N) CONDUIT & CONDUCTORS IN TRENCH TO (E) LIGHT STANDARD 24
- 26 EDGE OF ASPHALT PAVING

**ISSUE STATUS**

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0	02/28/2023	90% ZD REVIEW	RL
1	06/02/2023	90% ZD DRM COMMENTS	RL
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3	11/06/2032	ENCL. SIZE INCREASE	RL
4	12/18/2023	REVISED 90% ZD	RL
5	01/10/2024	100% ZD	RL
6	08/16/2024	CITY STAFF COMMENTS	RL
7	10/21/2024	COMBINED PERM & TEMP	RL

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TELECOMMUNICATIONS PROJECT MANAGEMENT

16776 BERNARDO CENTER DRIVE, UNIT 203  
 SAN DIEGO, CA 92128

**PROPRIETARY INFORMATION**

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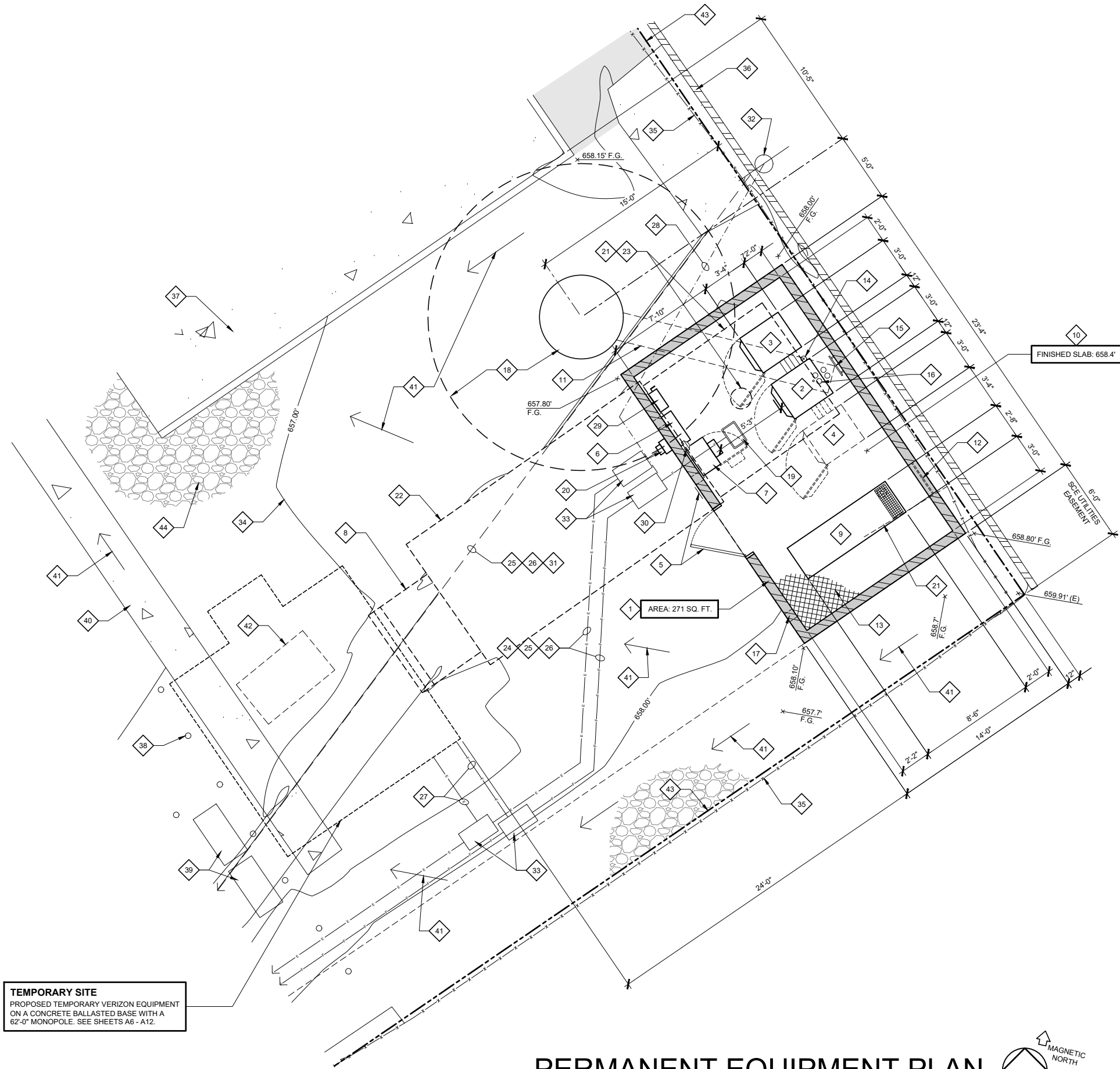
**verizon**  
 15505 SAND CANYON AVENUE  
 BUILDING C  
 IRVINE, CA 92618

**TEMESCANYON**

PROJECT I.D. : 17276944  
 1660 LEESON LANE  
 CORONA, CA 92879

SHEET TITLE:  
 PERMANENT ENLARGED SITE PLAN

**A-1**



**TEMPORARY SITE**  
 PROPOSED TEMPORARY VERIZON EQUIPMENT  
 ON A CONCRETE BALLASTED BASE WITH A  
 62'-0" MONOPOLE. SEE SHEETS A6 - A12.

# PERMANENT EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"  
 0" 2' 4' 8'



## KEYED NOTES:

- 1 (N) PERMANENT VERIZON 8'-0" TALL CONCRETE BLOCK EQUIPMENT ENCLOSURE
- 2 (N) VERIZON BATTERY CABINET. CABINET SHALL BE "HARDENED" WITH STAINLESS STEEL PROTECTION ASSEMBLY WITH MASTER KEYED HIDDEN SHACKLE PADLOCK WITH HIGH SECURITY HASP PER NETWORK ASSURANCE
- 3 (N) VERIZON POWER PLANT / EQUIPMENT CABINET WITH BATTERIES IN THE BOTTOM. CABINET SHALL BE "HARDENED" WITH STAINLESS STEEL PROTECTION ASSEMBLY WITH MASTER KEYED HIDDEN SHACKLE PADLOCK WITH HIGH SECURITY HASP PER NETWORK ASSURANCE
- 4 FUTURE VERIZON CABINET (SHOWN DASHED)
- 5 (N) 4'-0" WIDE x 8'-0" HIGH STEEL PICKET GATE WITH VERIZON SIGNAGE ON ADJACENT WALL. SEE DETAILS
- 6 (N) VERIZON WALL MOUNTED INTEGRATED LOAD CENTER (ILC)
- 7 (N) VERIZON WALL MOUNTED FIBER CABINET
- 8 REMOVE (E) CONCRETE LANDING & STEPS
- 9 (N) VERIZON 30KW AC STAND-BY GENERATOR WITH 221 GALLON SEISMIC DOUBLE WALL DIESEL FUEL TANK
- 10 (N) CONCRETE SLAB
- 11 (N) VERIZON CABLE TRENCH TO TRI-TRUNK-EUCALYPTUS (SHOWN DASHED)
- 12 2'-8" WIDE x 4'-0" HIGH VENTILATION OPENING WITH STEEL FRAME & PICKETS @ 4" O.C.
- 13 (N) 6 GAUGE INDUSTRIAL COMMERCIAL CHAIN LINK LID WITH 2" MESH OPENING
- 14 (N) E911 GPS ANTENNA MOUNTED TO (N) EQUIPMENT CABINET EXTEND MINIMUM 12" ABOVE TOP OF WALL
- 15 (N) MAIN GROUND BUS BAR MOUNTED TO INSIDE FACE OF CONCRETE BLOCK ENCLOSURE WALL
- 16 (N) (4) 4" Ø CABLE CONDUIT & (1) 1-1/2" Ø CONDUIT FOR GROUND
- 17 PROVIDE 4" x 8" OPENING AT BASE OF WALL FOR DRAINAGE (TYPICAL OF 3)
- 18 (N) PERMANENT VERIZON 67'-0" HIGH TRI-TRUNK-EUCALYPTUS & FOOTING. SEE SHEET A-3 FOR ANTENNA PLAN & TRI-TRUNK-EUCALYPTUS ELEVATION
- 19 (N) 17" x 30" FIBER HAND HOLE WITH BOLT-DOWN CONCRETE COVER
- 20 RELOCATED SCE ELECTRICAL METER
- 21 REMOVE (E) VERIZON CHAIN LINK FENCE ENCLOSURE AROUND WOOD POLE AND PARTIAL CHAIN LINK FENCE ON SOUTHEAST CORNER OF PROPERTY (SHOWN DASHED)
- 22 REMOVE (E) VERIZON EQUIPMENT BUILDING INCLUDING ALL INTERIOR EQUIPMENT, CONCRETE FOUNDATIONS, PADS & LANDINGS (SHOWN DASHED)
- 23 REMOVE (E) VERIZON 62'-0" HIGH WOOD POLE WITH ANTENNAS, RRUS, MOUNTING BRACKETS & CABLES (SHOWN DASHED)
- 24 (N) TRENCH FOR POWER & FIBER
- 25 REROUTE (E) OVERHEAD VERIZON ELECTRICAL SERVICE FROM (E) UTILITY POLE UNDERGROUND TO (TEMP) & TO (N) EQUIPMENT ENCLOSURE
- 26 REROUTE (E) OVERHEAD VERIZON FIBER SERVICE FROM (E) UTILITY POLE UNDERGROUND TO (TEMP) & (N) EQUIPMENT ENCLOSURE
- 27 UTILITY CONDUIT IN TRENCH FOR TEMP SITE
- 28 (N) CONDUIT & CONDUCTORS IN TRENCH TO (E) LIGHT STANDARD
- 29 (N) VERIZON WALL MOUNTED FUSED DISCONNECT SWITCH
- 30 (N) SERVICE LIGHT FIXTURE
- 31 (E) OVERHEAD UTILITY LINES
- 32 (E) LIGHT STANDARD TO REMAIN
- 33 (N) 17" x 30" HANDHOLES WITH CONCRETE COVER (3) FOR FIBER, (3) FOR POWER, (6) TOTAL
- 34 (E) CONTOUR LINES @1'-0" INTERVALS
- 35 (E) CHAIN LINK FENCE WITH BARBED WIRE TO REMAIN
- 36 (E) CONCRETE BLOCK WALL TO REMAIN
- 37 (E) CONCRETE LOADING PAD TO REMAIN
- 38 (E) CONCRETE FILLED BOLLARDS TO REMAIN (TYPICAL)
- 39 (E) PROPANE TANKS INSIDE METAL STORAGE CAGES TO REMAIN
- 40 (E) CONCRETE DRAINAGE SWALE
- 41 (E) DRAINAGE PATTERN
- 42 (E) ABANDONED FUEL TANK TO BE REMOVED BY OWNER (SHOWN DASHED)
- 43 PROPERTY LINE, TYPICAL
- 44 (E) GRAVEL & COMPACTED EARTH AROUND (E) VERIZON SHELTER & POLE

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16776 BERNARDO CENTER DRIVE, UNIT 203  
 SAN DIEGO, CA 92128

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**TEMESCANYON**

PROJECT I.D. : 17276944  
 1660 LEESON LANE  
 CORONA, CA 92879

SHEET TITLE:  
 PERMANENT  
 EQUIPMENT PLAN

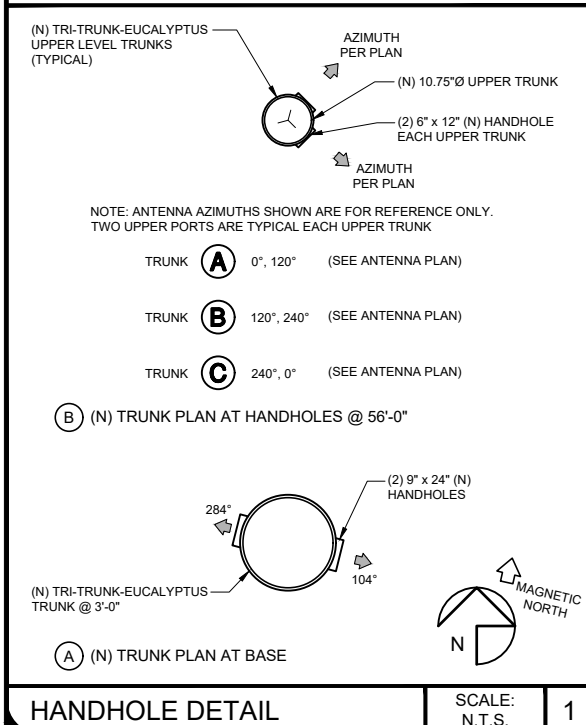
**A-2**

RFDS T.B.D.

SECTOR	DIRECTION	AZMUTH	MODEL	SIZE	RAD CENTER	RADIO TYPE	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+/- 5)	SURGE SUPPRESSOR	JUMPER LENGTH (+/- 3)
ALPHA1	SOUTHEAST	120°	ERICSSON: KRE105281/1	8.4" L x 7.9" W x 4.9" D	61'-6"	INTEGRAL WITH ANTENNA	(1) 6 X 12 HYBRID CABLE	85'-0"	(1)	6'-0"
ALPHA2			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4890				
ALPHA3			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4490				
ALPHA4			ERICSSON: AIR6419	31.3" L x 16.1" W x 9.8" D	60'-8"	INTEGRAL WITH ANTENNA				
BETA1	SOUTHWEST	240°	ERICSSON: KRE105281/1	8.4" L x 7.9" W x 4.9" D	61'-6"	INTEGRAL WITH ANTENNA	(1) 6 X 12 HYBRID CABLE	85'-0"	(1)	6'-0"
BETA2			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4890				
BETA3			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4490				
BETA4			ERICSSON: AIR6419	31.3" L x 16.1" W x 9.8" D	60'-8"	INTEGRAL WITH ANTENNA				
GAMMA1	NORTH	0°	ERICSSON: KRE105281/1	8.4" L x 7.9" W x 4.9" D	61'-6"	INTEGRAL WITH ANTENNA	(1) 6 X 12 HYBRID CABLE	85'-0"	(1)	6'-0"
GAMMA2			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4890				
GAMMA3			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4490				
GAMMA4			ERICSSON: AIR6419	31.3" L x 16.1" W x 9.8" D	60'-8"	INTEGRAL WITH ANTENNA				
MICROWAVE	TBD	TBD	TBD	4'-0"Ø	48'-0"					32'-0"

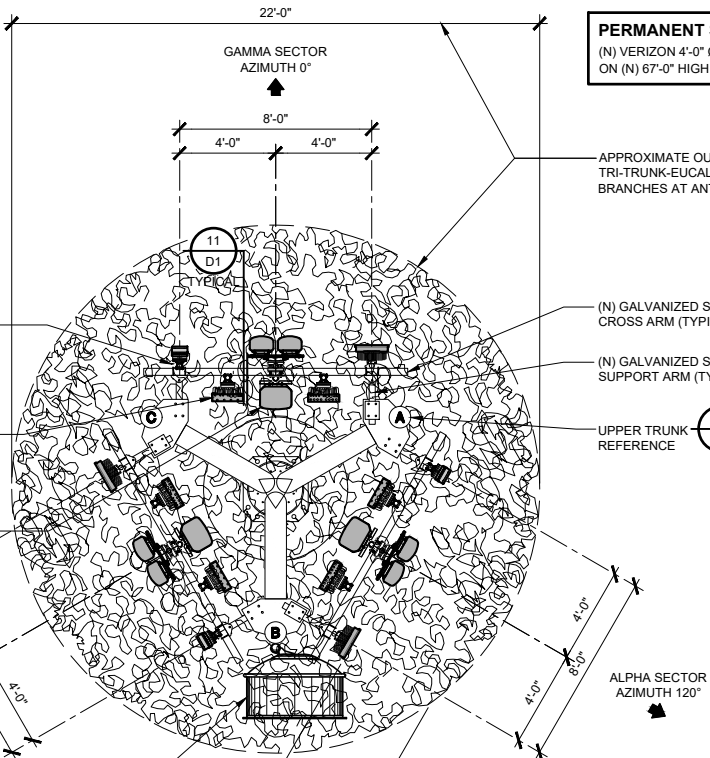
NOTES:

- 1 INSTALL (16) ANTENNAS: (3) ERICSSON KRE105281/1: 8.4" LENGTH X 7.9" WIDE X 4.9" DEEP, WEIGHT: 11.0 LBS (6) COMMSCOPE NHH-65C-R2B: 96.0" LENGTH X 11.9" WIDE X 7.1" DEEP, WEIGHT: 51.6 LBS (3) ERICSSON AIR6419: 31.3" LENGTH X 16.1" WIDE X 9.8" DEEP, WEIGHT: 71.0 LBS
- 2 INSTALL (1) 6 x 12 HYBRID FIBER POWER CABLE FOR EACH SECTOR (TOTAL OF 3)
- 3 INSTALL (1) DEMARCATION JUNCTION BOX (RAYCAP SURGE SUPPRESSOR) FOR EACH SECTOR (TOTAL OF 3) SEE DETAIL
- 4 INSTALL (2) RRU UNITS FOR EACH SECTOR, (TOTAL OF 6). SEE DETAILS
- 5 4408-B48 RRU UNITS ARE INTEGRAL WITH KRE105281/1 ANTENNAS
- 6 RRU UNITS AT ERICSSON AIR6419 ARE INTEGRAL WITH ANTENNAS



## PERMANENT ANTENNA PLAN

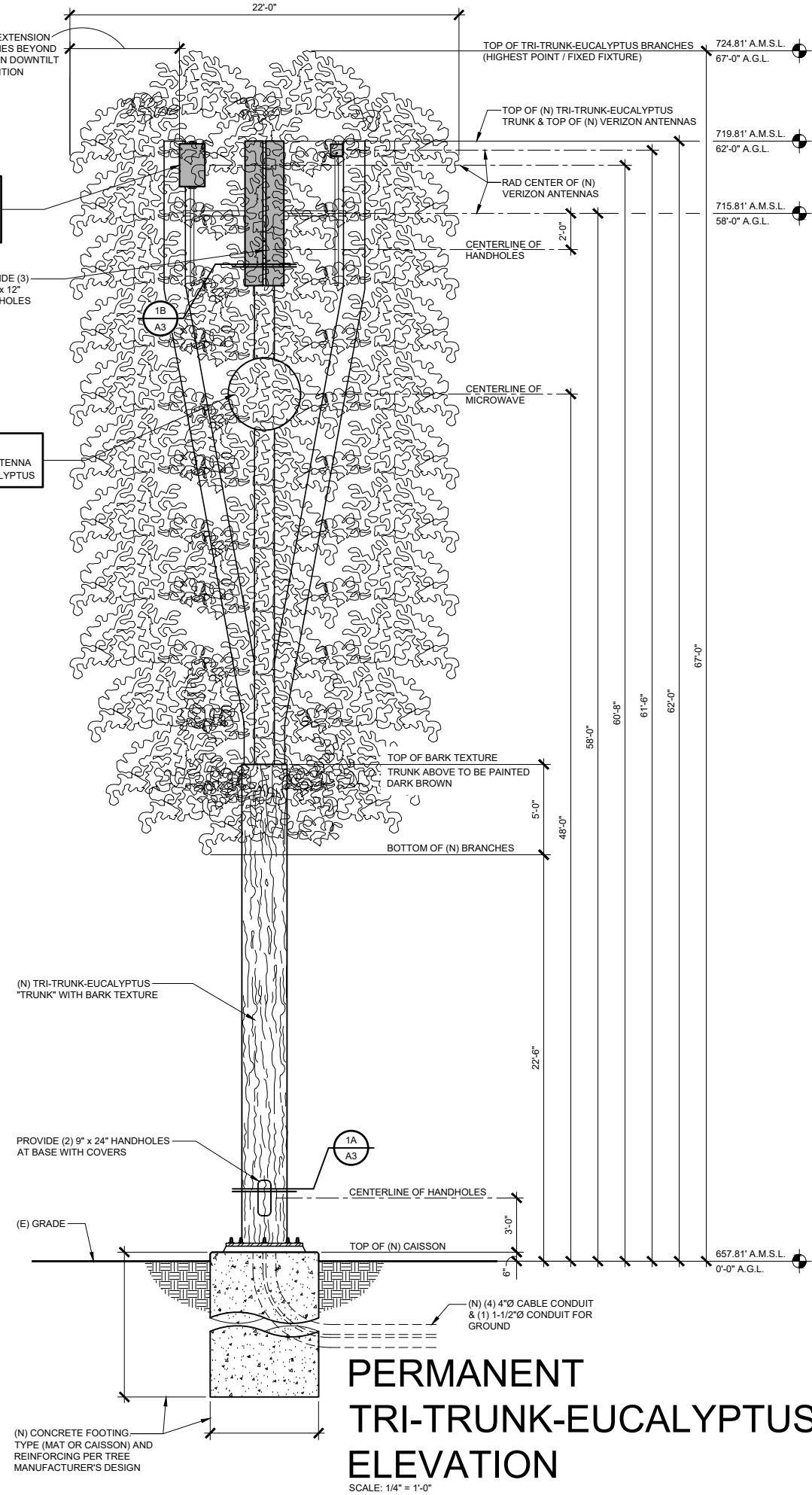
SCALE: 1/4" = 1'-0"



- ANTENNA & EQUIPMENT CAMOUFLAGE NOTES:**
- COMMSCOPE NHH-65C-R2B AND ERICSSON KRE 105281/1 ANTENNAS MAY BE COVERED BY RF TRANSPARENT NEEDLE SOCKS.
  - RRU 4449 & 8843 UNITS MAY BE COVERED BY RF TRANSPARENT NEEDLE SOCKS. BUT, MAY NOT BE PAINTED.
  - RAYCAP SURGE SUPPRESSORS MAY BE PAINTED TO MATCH DOMINANT COLOR OF TREE FOLIAGE.
  - ERICSSON AIR6449 ANTENNAS MAY ONLY BE COVERED WITH 3M FILM IN A COLOR THAT MATCHES THE DOMINANT TREE COLOR. ONLY THE FACE AND SIDES MAY RECEIVE FILM. THE BACK OF THESE ANTENNAS MAY NOT BE COVERED, FILMED OR PAINTED.
  - ALL EXPOSED CABLES, BRACKETS & SUPPORTS SHALL BE PAINTED TO MATCH FAUX TREE FOLIAGE.

**PERMANENT SITE**  
(N) VERIZON ANTENNAS & RRU RADIO UNITS MOUNTED ON UPPER TRUNKS OF TRI-TRUNK-EUCALYPTUS

**PERMANENT SITE**  
(N) VERIZON 4'-0" Ø MICROWAVE ANTENNA ON (N) 67'-0" HIGH TRI-TRUNK-EUCALYPTUS



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7	10/21/2024	COMBINED PERM & TEMP	RL

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IRVINE, CA 92618

**TEMESCANYON**

PROJECT I.D. : 17276944  
1660 LEESON LANE  
CORONA, CA 92879

SHEET TITLE:  
PERMANENT TRI-TRUNK-EUCALYPTUS ELEVATION & ANTENNA PLAN

**A-3**

**ISSUE STATUS**

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0	02/28/2023	90% ZD REVIEW	RL
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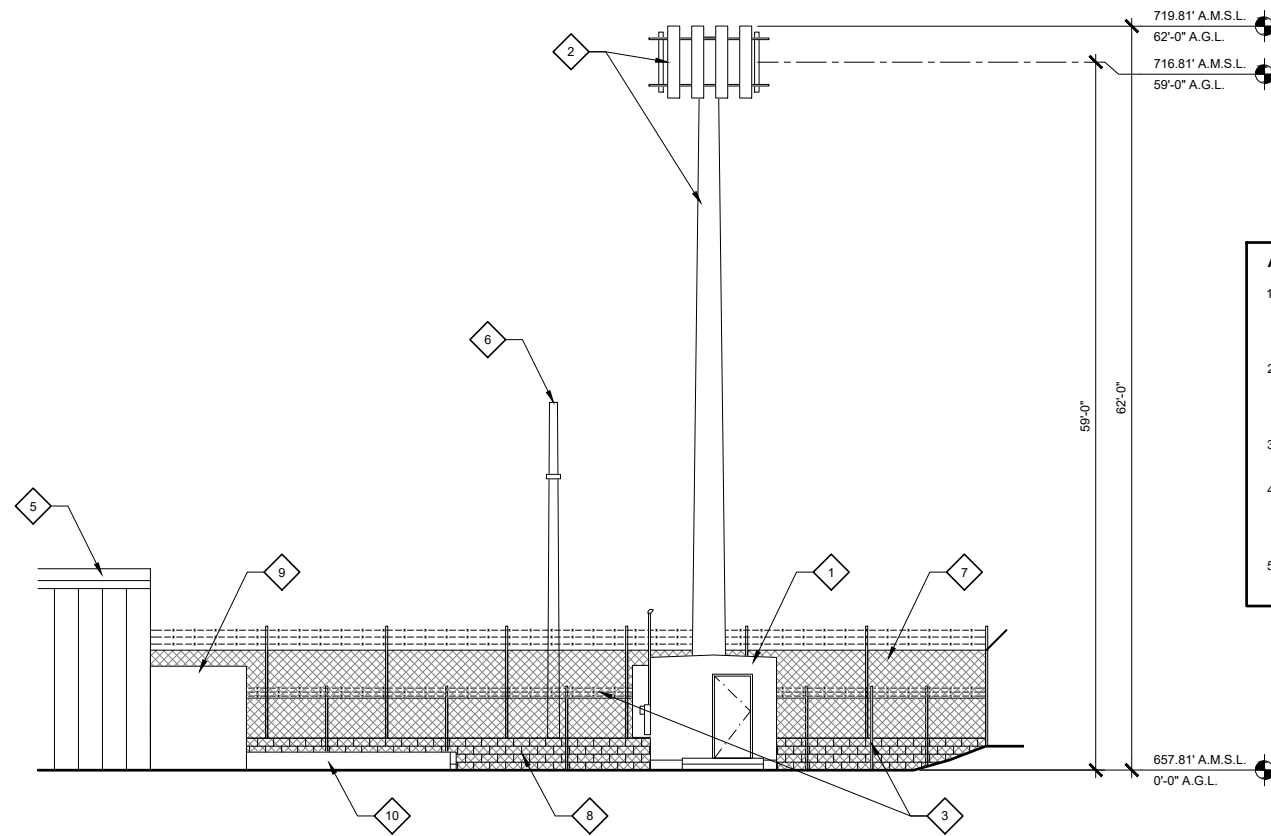
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**TEMESCANYON**

PROJECT I.D. : 17276944  
1660 LEESON LANE  
CORONA, CA 92879

SHEET TITLE:  
PERMANENT  
EXTERIOR ELEVATIONS

**A-4**

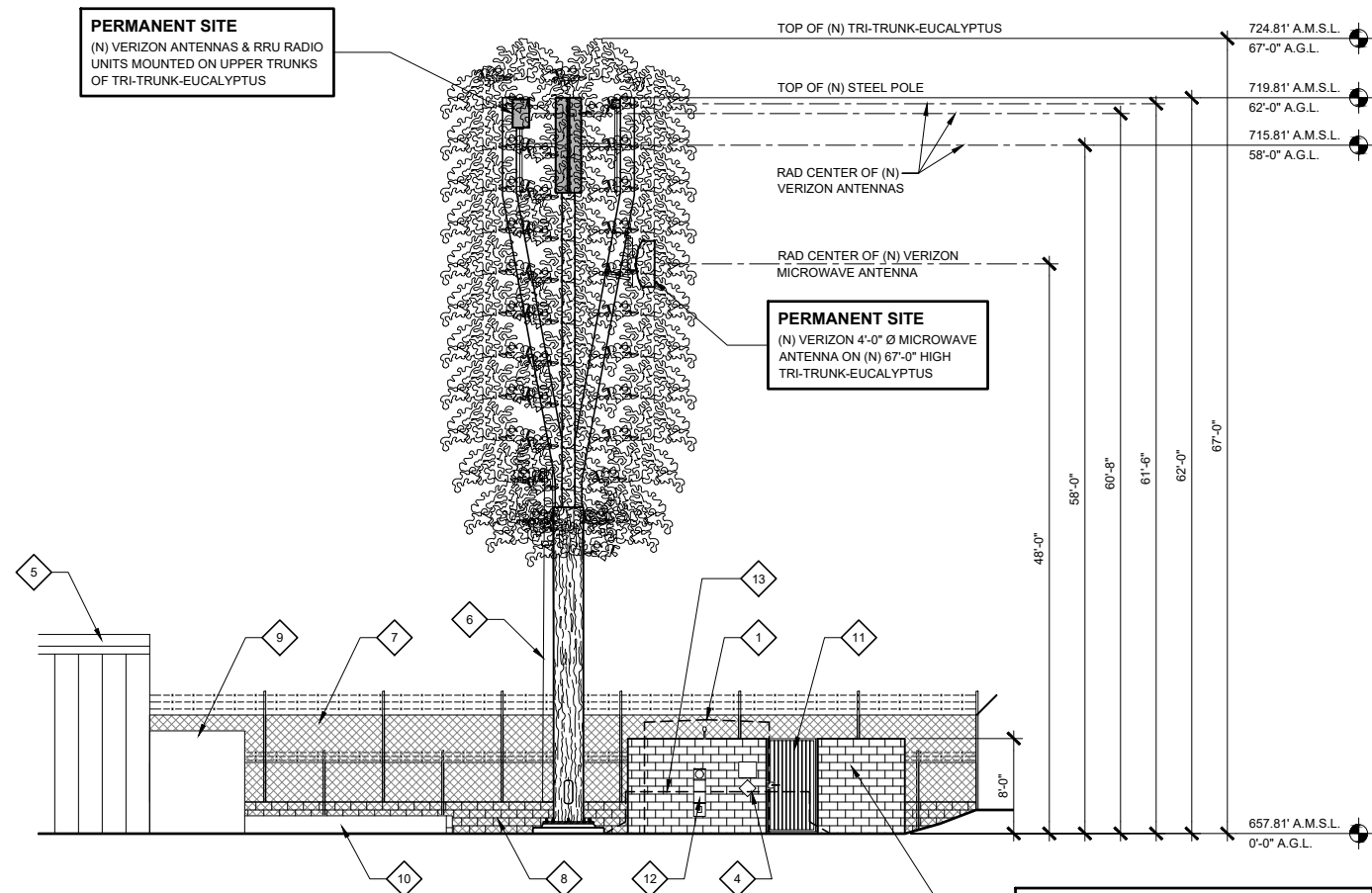


**(E) WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

- ANTENNA & EQUIPMENT CAMOUFLAGE NOTES:**
- COMMSCOPE NHH-65C-R2B AND ERICSSON KRE 105281/1 ANTENNAS MAY BE COVERED BY RF TRANSPARENT NEEDLE SOCKS.
  - RRU 4449 & 8843 UNITS MAY BE COVERED BY RF TRANSPARENT NEEDLE SOCKS. BUT, MAY NOT BE PAINTED.
  - RAYCAP SURGE SUPPRESSORS MAY BE PAINTED TO MATCH DOMINANT COLOR OF TREE FOLIAGE.
  - ERICSSON AIR6449 ANTENNAS MAY ONLY BE COVERED WITH 3M FILM IN A COLOR THAT MATCHES THE DOMINANT TREE COLOR. ONLY THE FACE AND SIDES MAY RECEIVE FILM. THE BACK OF THESE ANTENNAS MAY NOT BE COVERED, FILMED OR PAINTED.
  - ALL EXPOSED CABLES, BRACKETS & SUPPORTS SHALL BE PAINTED TO MATCH FAUX TREE FOLIAGE.

**KEYED NOTES:**

- REMOVE (E) VERIZON EQUIPMENT BUILDING INCLUDING ALL INTERIOR EQUIPMENT, CONCRETE FOUNDATIONS, PADS & LANDINGS
- REMOVE (E) VERIZON 62'-0" HIGH WOOD POLE WITH ANTENNAS, RRUS, MOUNTING BRACKETS & CABLES
- REMOVE (E) VERIZON CHAIN LINK FENCE ENCLOSURE AROUND WOOD POLE AND PARTIAL CHAIN LINK FENCE ON SOUTHEAST CORNER OF PROPERTY
- (N) VERIZON SIGNAGE
- (E) BUILDING
- (E) LIGHT STANDARD TO REMAIN
- (E) CHAIN LINK FENCE WITH BARBED WIRE BEYOND (TO REMAIN)
- (E) CONCRETE BLOCK WALL TO REMAIN
- (E) COMMERCIAL TRASH COMPACTOR
- (E) CONCRETE LOADING PAD AND WALL
- (N) 4'-0" WIDE x 8'-0" HIGH STEEL PICKET GATE
- (N) LOCATION FOR ELECTRICAL METER
- PROPOSED TEMPORARY VERIZON EQUIPMENT ON A CONCRETE BASE WITH A 62'-0" MONOPOLE (NOT SHOWN). SEE SHEETS A6 - A12.

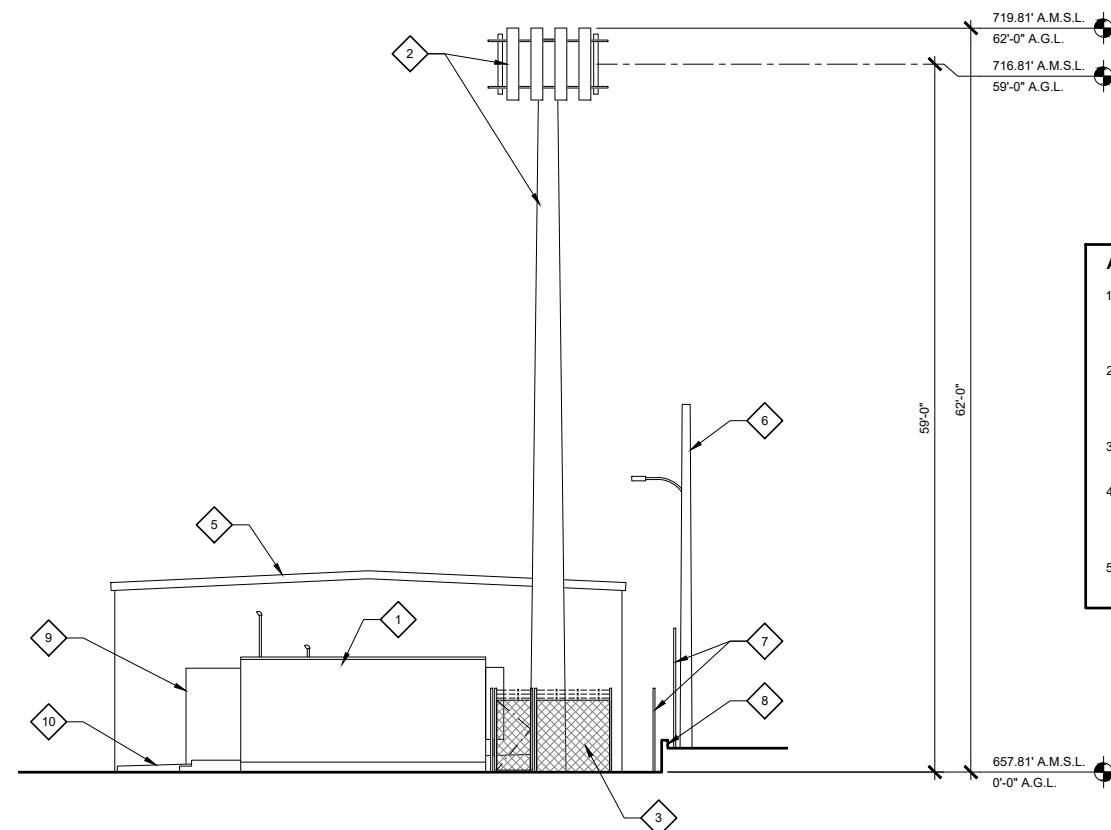


**(N) PERMANENT WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**PERMANENT SITE**  
(N) VERIZON ANTENNAS & RRU RADIO UNITS MOUNTED ON UPPER TRUNKS OF TRI-TRUNK-EUCALYPTUS

**PERMANENT SITE**  
(N) VERIZON 4'-0" Ø MICROWAVE ANTENNA ON (N) 67'-0" HIGH TRI-TRUNK-EUCALYPTUS

**PERMANENT SITE**  
(N) VERIZON 8'-0" TALL CONCRETE BLOCK EQUIPMENT ENCLOSURE WITH 6 GAUGE INDUSTRIAL COMMERCIAL CHAIN LINK LID WITH 2" MESH OPENING



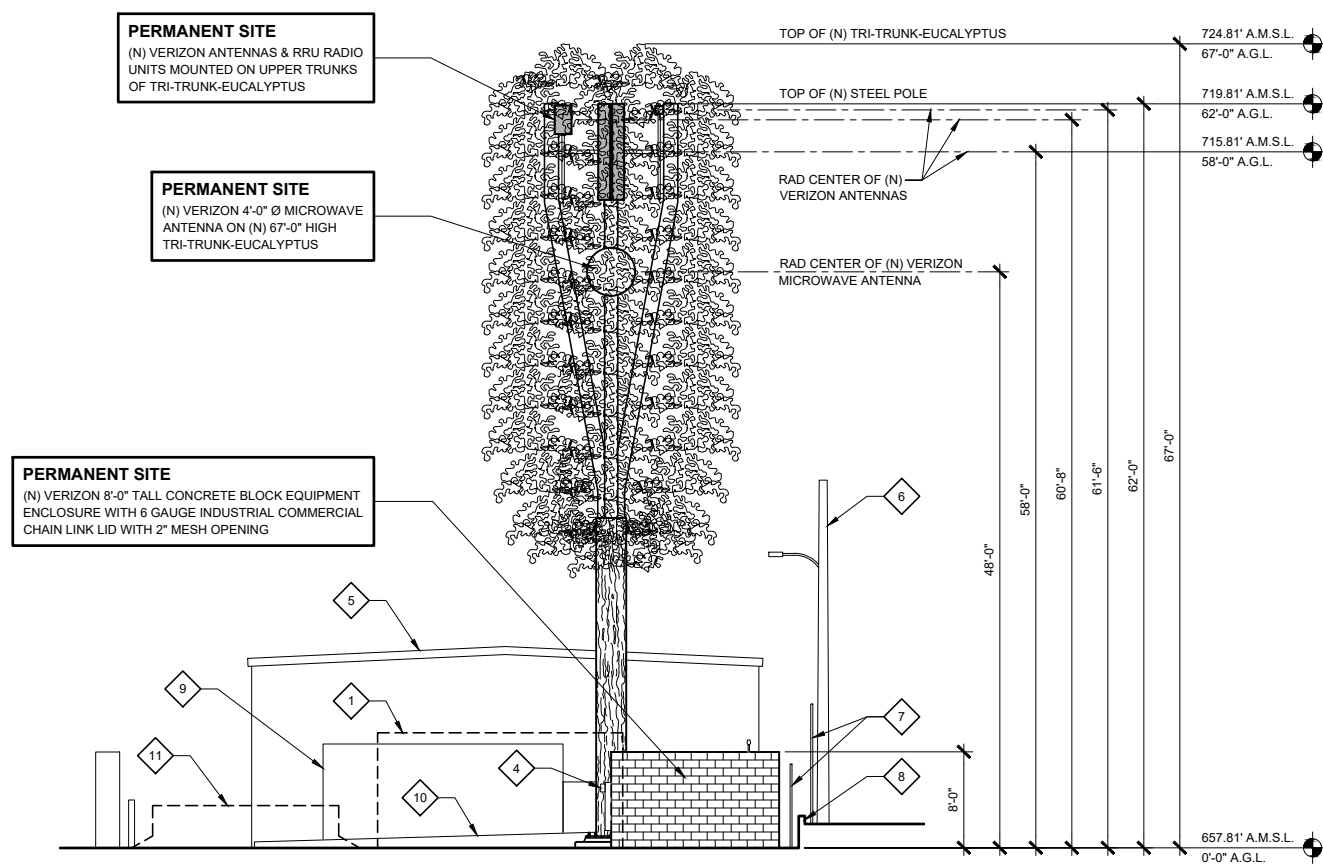
**(E) SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**ANTENNA & EQUIPMENT CAMOUFLAGE NOTES:**

1. COMMSCOPE NHH-65C-R2B AND ERICSSON KRE 105281/1 ANTENNAS MAY BE COVERED BY RF TRANSPARENT NEEDLE SOCKS.
2. RRU 4449 & 8843 UNITS MAY BE COVERED BY RF TRANSPARENT NEEDLE SOCKS. BUT, MAY NOT BE PAINTED.
3. RAYCAP SURGE SUPPRESSORS MAY BE PAINTED TO MATCH DOMINANT COLOR OF TREE FOLIAGE.
4. ERICSSON AIR6449 ANTENNAS MAY ONLY BE COVERED WITH 3M FILM IN A COLOR THAT MATCHES THE DOMINANT TREE COLOR. ONLY THE FACE AND SIDES MAY RECEIVE FILM. THE BACK OF THESE ANTENNAS MAY NOT BE COVERED, FILMED OR PAINTED.
5. ALL EXPOSED CABLES, BRACKETS & SUPPORTS SHALL BE PAINTED TO MATCH FAUX TREE FOLIAGE.

**KEYED NOTES:**

- REMOVE (E) VERIZON EQUIPMENT BUILDING INCLUDING ALL INTERIOR EQUIPMENT, CONCRETE FOUNDATIONS, PADS & LANDINGS
- REMOVE (E) VERIZON 62'-0" HIGH WOOD POLE WITH ANTENNAS, RRUS, MOUNTING BRACKETS & CABLES
- REMOVE (E) VERIZON CHAIN LINK FENCE ENCLOSURE AROUND WOOD POLE AND PARTIAL CHAIN LINK FENCE ON SOUTHEAST CORNER OF PROPERTY
- (N) LOCATION FOR PERMANENT ELECTRICAL METER
- (E) BUILDING
- (E) LIGHT STANDARD TO REMAIN
- (E) CHAIN LINK FENCE WITH BARBED WIRE TO REMAIN
- (E) CONCRETE BLOCK WALL
- (E) COMMERCIAL TRASH COMPACTOR
- (E) CONCRETE LOADING PAD AND WALL
- PROPOSED TEMPORARY VERIZON EQUIPMENT ON A CONCRETE BALLASTED BASE WITH A 62'-0" MONOPOLE (NOT SHOWN). SEE SHEETS A6 - A12.



**(N) PERMANENT SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

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**TEMESCANYON**

PROJECT I.D. : 17276944  
1660 LEESON LANE  
CORONA, CA 92879

SHEET TITLE:  
PERMANENT  
EXTERIOR ELEVATIONS

**A-5**

**COMMSCOPE NHH-65C-R2B**  
 DIMENSIONS, HxWxD: 96" x 11.9" x 7.1"  
 WEIGHT: 51.6 lbs  
 RF CONNECTORS: (6) 7-16 DIN FEMALE / BOTTOM

**NOTE: SEE CAMOUFLAGE NOTES ON DETAIL "11/D-1"**

FRONT VIEW    SIDE VIEW    BOTTOM VIEW

**KRE105281/1 ANTENNA WITH INTEGRAL 4408 B48 DC RRU RADIO UNIT**  
 CAPACITY AND SPECIFICATIONS  
 - 4TX / 4RX                      - 6 LTE CARRIERS  
 - UP TO 4x5W                    - 2x 10.1Gbps CPRI  
 - 120MHz IBW

OTHER SPECIFICATIONS  
 - AC or -48 VDC                - 2 external alarm  
 - Integrated or external antenna                - IP 65, -40 to +55°C

HEIGHT    WIDTH    DEPTH    WEIGHT  
 8.38 in.    7.87 in.    4.92 in.    11.02 lbs.  
 (213 mm)    (200 mm)    (125 mm)    (5 Kg)

**NOTE: SEE CAMOUFLAGE NOTES ON DETAIL "11/D-1"**

FRONT VIEW    SIDE VIEW    BOTTOM VIEW

**CAUTION BATTERIES IN CABINETS**

BATTERY ELECTROLYTE SOLUTIONS ARE CORROSIVE LIQUIDS  
 THIS AREA CONTAINS:  
 ENERGIZED BATTERY SYSTEMS AND  
 ENERGIZED ELECTRICAL CIRCUITS

MICARTA SIGN RED BACKGROUND WITH WHITE LETTERS  
 1" HELVETICA LETTERING  
 1/2" HELVETICA LETTERING  
 MOUNTING SCREWS

**NOTE: GENERAL CONTRACTOR SHALL CONFIRM SPECIFIC SIGNAGE AND LOCATION WITH THE RFE / EME STUDY AND THE VERIZON WIRELESS CONSTRUCTION MANAGER**

**FOR GENERATOR**

RED (FLAMMABILITY)  
 YELLOW (REACTIVITY)  
 BLUE (HEALTH HAZARD)  
 WHITE (SPECIAL)  
 NUMBERS & LETTERS SHALL BE REFLECTIVE

**FOR BATTERIES**

RED (FLAMMABILITY)  
 YELLOW (REACTIVITY)  
 BLUE (HEALTH HAZARD)  
 WHITE (SPECIAL)  
 NUMBERS & LETTERS SHALL BE REFLECTIVE

**NOTE: GENERAL CONTRACTOR SHALL CONFIRM SPECIFIC SIGNAGE AND LOCATION WITH THE RFE / EME STUDY AND THE VERIZON WIRELESS CONSTRUCTION MANAGER**

ANTENNA SPECIFICATIONS    SCALE: N.T.S.    1

ANTENNA WITH 4408 RRU RADIO UNIT    SCALE: N.T.S.    2

BATTERY CAUTION SIGN    SCALE: N.T.S.    3

NFPA 704 PLACARDS    SCALE: N.T.S.    4

**ERICSSON AIR 6419**  
 DIMENSIONS, HxWxD: 31.3" x 16.1" x 9.8"  
 WEIGHT: 63.05 lbs

**NOTE: SEE CAMOUFLAGE NOTES ON DETAIL "11/D-1"**

PLAN VIEW    FRONT VIEW    SIDE VIEW

(N) 2"Ø x 3'-0" LONG SCHEDULE 40 GALVANIZED STANDARD (ASTM 53 GRADE B) STEEL PIPE MOUNT

(N) SURGE SUPPRESSOR DISTRIBUTION BOX SEE DETAIL

(N) 3/8" GALVANIZED STEEL MOUNTING PLATE WITH (2) 1/2"Ø A36 GALVANIZED U-BOLTS

(N) TRI-TRUNK-EUCALYPTUS SUPPORT ARM

(N) (4) 3/8"Ø GALVANIZED FASTENERS FOR MOUNTING FRAME TO DISTRIBUTION BOX

(N) UNISTRUT P1000T x 16" LONG (TYPICAL) W/ (2) 3/8"Ø A-36 GALVANIZED U-BOLTS TO 2"Ø PIPE MOUNT

(N) STAINLESS STEEL MOUNTING FRAME PROVIDED WITH UNIT INSTALLED PER MANUFACTURERS SPECIFICATIONS

(N) (2) 3/8"Ø GALVANIZED UNISTRUT BOLTS & SPRING NUTS

SIDE VIEW

ANTENNA SPECIFICATIONS    SCALE: NONE    5

SURGE SUPPRESSOR MOUNTING    SCALE: N.T.S.    6

**RAYCAP SURGE SUPPRESSOR**  
 RAYCAP RCMDC-4750-PF-48  
 WEIGHT: 21.5 LBS.

RAYCAP RCMDC-3315-PF-48 WITH SURGE SUPPRESSOR  
 WEIGHT: 26.9 LBS.

**NOTE: SEE CAMOUFLAGE NOTES ON DETAIL "11/D-1"**

FRONT VIEW    SIDE VIEW    BOTTOM VIEW

STAINLESS STEEL MOUNTING BRACKET BY MANUFACTURER

LIGHT FIXTURE FULLY SHIELDED

4 1/4"

2 5/8"

2 3/4"

1 3/16"

4 11/16"

KNUCKLE MOUNT TO 4" x 4" x 2" JUNCTION BOX ANCHORED TO WALL

CONDUIT

RAB LIGHTING: X34-16L/120 LED FLOOD LAMP 1632 LUMENS

**NOTE: LIGHT FIXTURES SHALL BE ADJUSTED SO THAT ALL LIGHTING IS CONTAINED WITHIN THE BOUNDARIES OF THE SITE**

FRONT VIEW    SIDE VIEW

SURGE SUPPRESSOR SPECIFICATIONS    SCALE: N.T.S.    9

SERVICE LIGHT    SCALE: N.T.S.    10

(N) ANTENNA. SEE DETAIL (1, 2, 5) (D1, D1, D1)

(N) 2"Ø SCHEDULE 40 GALVANIZED STANDARD (ASTM 53 GRADE B) STEEL ANTENNA PIPE MOUNT

(N) ANTENNA BRACKET

(N) 3/8" THICK STEEL PLATE & 1/2"Ø U-BOLTS

(N) TRI-TRUNK-EUCALYPTUS CROSS & SUPPORT ARM ASSEMBLY

(N) RRU UNITS MOUNTED TO SEPERATE PIPE MOUNTS. SEE DETAIL (8, 12) (D1, D1)

(N) COAXIAL CABLE JUMPER

(N) COMMSCOPE ANTENNA BRACKET

(N) FAUX FOLIAGE SOCK COVER AROUND ALL ANTENNAS & RRU UNITS

(2) RRU PER SECTOR

**ANTENNA & EQUIPMENT CAMOUFLAGE NOTES:**

- COMMSCOPE NHH-65C-R2B AND ERICSSON KRE 105281/1 ANTENNAS MAY BE COVERED BY RF TRANSPARENT NEEDLE SOCKS.
- RRU 4449 & 8843 UNITS MAY BE COVERED BY RF TRANSPARENT NEEDLE SOCKS. BUT, MAY NOT BE PAINTED.
- RAYCAP SURGE SUPPRESSORS MAY BE PAINTED TO MATCH DOMINANT COLOR OF TREE FOLIAGE.
- ERICSSON AIR6449 ANTENNAS MAY ONLY BE COVERED WITH 3M FILM IN A COLOR THAT MATCHES THE DOMINANT TREE COLOR. ONLY THE FACE AND SIDES MAY RECEIVE FILM. THE BACK OF THESE ANTENNAS MAY NOT BE COVERED, FILMED OR PAINTED.
- ALL EXPOSED CABLES, BRACKETS & SUPPORTS SHALL BE PAINTED TO MATCH FAUX TREE FOLIAGE.

ANTENNA & RRU MOUNTING    SCALE: N.T.S.    11

**RADIO 4490**  
 4 COMMON RF PORTS (C)  
 B5: 4X60W, B13: 4X60W  
 480 W TOTAL RF OUTPUT POWER  
 L, NR, NB-IoT  
 2x 2.5/4.9/9.8/10.1/24.3 Gbps CPRI/eCPRI

HEIGHT    WIDTH    DEPTH    WEIGHT  
 20.6 in.    15.7 in.    7.0 in.    68.4 lbs.  
 (522 mm)    (397 mm)    (178 mm)    (31.0 Kg)

-48 VDC 2-WIRE (ONE DC CONNECTOR INPUT)  
 AISG V3.0 TMA & RET SUPPORT VIA RS-485 OR RF CONNECTORS  
 TYPE 4.3-10 RF+ CONNECTORS  
 2 EXTERNAL ALARMS  
 CONVECTIONAL COOLING  
 OPTIONAL FAN FOR INCREASED SITE FLEXIBILITY  
 IP 65, -40 TO +55 °C

TOP VIEW    FRONT VIEW    SIDE VIEW

RRU 4490 SPECIFICATIONS    SCALE: N.T.S.    8

**RADIO 4890**  
 8 RF PORTS, 4T8R PER BAND (5 FOR TX)  
 B2: 4X60W  
 B66: 4X60W  
 UP TO 480W IN TOTAL RF POWER  
 L, NR, NB-IoT  
 2x 2.5/4.9/9.8/10.1/24.3 Gbps CPRI/eCPRI

HEIGHT    WIDTH    DEPTH    WEIGHT  
 20.6 in.    15.7 in.    7.2 in.    69.5 lbs.  
 (522 mm)    (397 mm)    (182 mm)    (31.5 Kg)

-48 VDC 2-WIRE (SINGLE DC-CONNECTOR),  
 AISG V3.0 TMA & RET SUPPORT VIA RS-485 OR RF CONNECTORS  
 TYPE 4.3-10 RF+ CONNECTORS  
 2 EXTERNAL ALARMS  
 CONVECTIONAL COOLING  
 OPTIONAL FAN FOR INCREASED SITE FLEXIBILITY  
 IP 65, -40 TO +55 °C

TOP VIEW    FRONT VIEW    SIDE VIEW

RADIO 4890 SPECIFICATIONS    SCALE: N.T.S.    12

**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	02/28/2023	90% ZD REVIEW	RL
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3	11/06/2023	ENCL. SIZE INCREASE	RL
4	12/18/2023	REVISED 90% ZD	RL
5	01/10/2024	100% ZD	RL
6	08/16/2024	CITY STAFF COMMENTS	RL
7	10/21/2024	COMBINED PERM & TEMP	RL

**PLANCOM**  
 TELECOMMUNICATIONS PROJECT MANAGEMENT  
 16776 BERNARDO CENTER DRIVE, UNIT 203  
 SAN DIEGO, CA 92128

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON

**verizon**  
 15505 SAND CANYON AVENUE  
 BUILDING C  
 IRVINE, CA 92618

**TEMESCANYON**  
 PROJECT I.D. : 17276944  
 1660 LEESON LANE  
 CORONA, CA 92879

SHEET TITLE:  
 DETAILS

**D-1**

**ISSUE STATUS**

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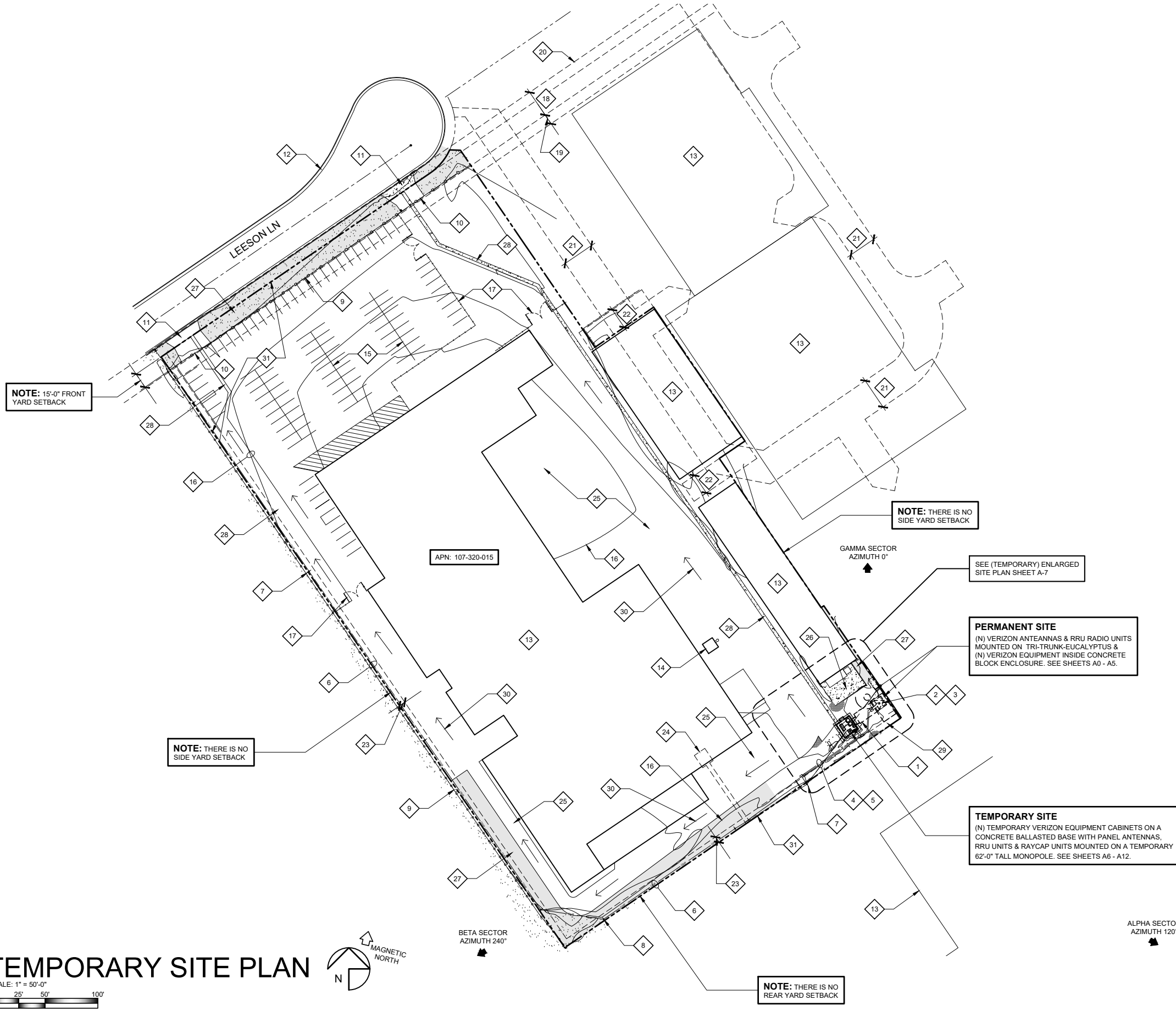
**TEMESCANYON**

PROJECT I.D. : 17276944  
1660 LEESON LANE  
CORONA, CA 92879

SHEET TITLE:  
TEMPORARY  
SITE PLAN

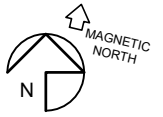
**KEYED NOTES:**

- 1 REMOVE (E) VERIZON EQUIPMENT BUILDING INCLUDING ALL INTERIOR EQUIPMENT, CONCRETE FOUNDATIONS, PADS & LANDINGS (SHOWN DASHED)
- 2 REMOVE (E) VERIZON 62'-0" HIGH WOOD POLE WITH ANTENNAS, RRU, MOUNTING BRACKETS & CABLES (SHOWN DASHED)
- 3 REMOVE (E) VERIZON CHAIN LINK FENCE ENCLOSURE AROUND WOOD POLE AND PARTIAL CHAIN LINK FENCE ON SOUTHEAST CORNER OF PROPERTY (SHOWN DASHED)
- 4 REROUTE (E) OVERHEAD VERIZON ELECTRICAL SERVICE FROM (E) UTILITY POLE UNDERGROUND TO PROPOSED TEMP LOCATION & TO (N) EQUIPMENT ENCLOSURE
- 5 REROUTE (E) OVERHEAD VERIZON FIBER SERVICE FROM (E) UTILITY POLE UNDERGROUND TO PROPOSED TEMP LOCATION & (N) EQUIPMENT ENCLOSURE
- 6 (E) OVERHEAD UTILITY LINES
- 7 (E) UTILITY POLE (TYPICAL)
- 8 (E) UTILITY POLE WITH TRANSFORMER
- 9 (E) WROUGHT IRON FENCE
- 10 (E) WROUGHT IRON ROLLING GATE
- 11 (E) CONCRETE DRIVEWAY
- 12 (E) CONCRETE CURB & GUTTER
- 13 (E) BUILDING
- 14 (E) 39'-4" TALL FACTORY TOWER (NOT TELECOM)
- 15 (E) ASPHALT PARKING LOT
- 16 (E) CONTOUR LINES @1'-0" INTERVALS
- 17 (E) CHAIN LINK FENCE & GATES WITH BARBED WIRE
- 18 (E) 26'-0" PRIVATE & LESSER RIGHTS STREET EASEMENT
- 19 (E) 10'-0" SCE UTILITIES EASEMENT
- 20 (E) CITY, SCE & SCGC UTILITIES EASEMENT
- 21 (E) WATER, SEWER, PUBLIC UTILITIES, INGRESS & EGRESS ACCESS AND DRAINAGE EASEMENT
- 22 (E) 20'-0" COVENANT AND AGREEMENT NON-BUILDABLE AREA/EASEMENT
- 23 (E) 6'-0" SCE UTILITIES EASEMENT
- 24 (E) SCE UTILITIES EASEMENT
- 25 (E) ASPHALT PAVING
- 26 (E) CONCRETE PAD
- 27 (E) UNPAVED COMPACTED EARTH (SHOWN SHADED)
- 28 (E) CONCRETE DRAINAGE SWALE
- 29 (E) GRAVEL & COMPACTED EARTH AROUND (E) VERIZON SHELTER & POLE
- 30 (E) DRAINAGE PATTERN
- 31 PROPERTY LINE, TYPICAL



**TEMPORARY SITE PLAN**

SCALE: 1" = 50'-0"  
0' 25' 50' 100'



BETA SECTOR  
AZIMUTH 240°

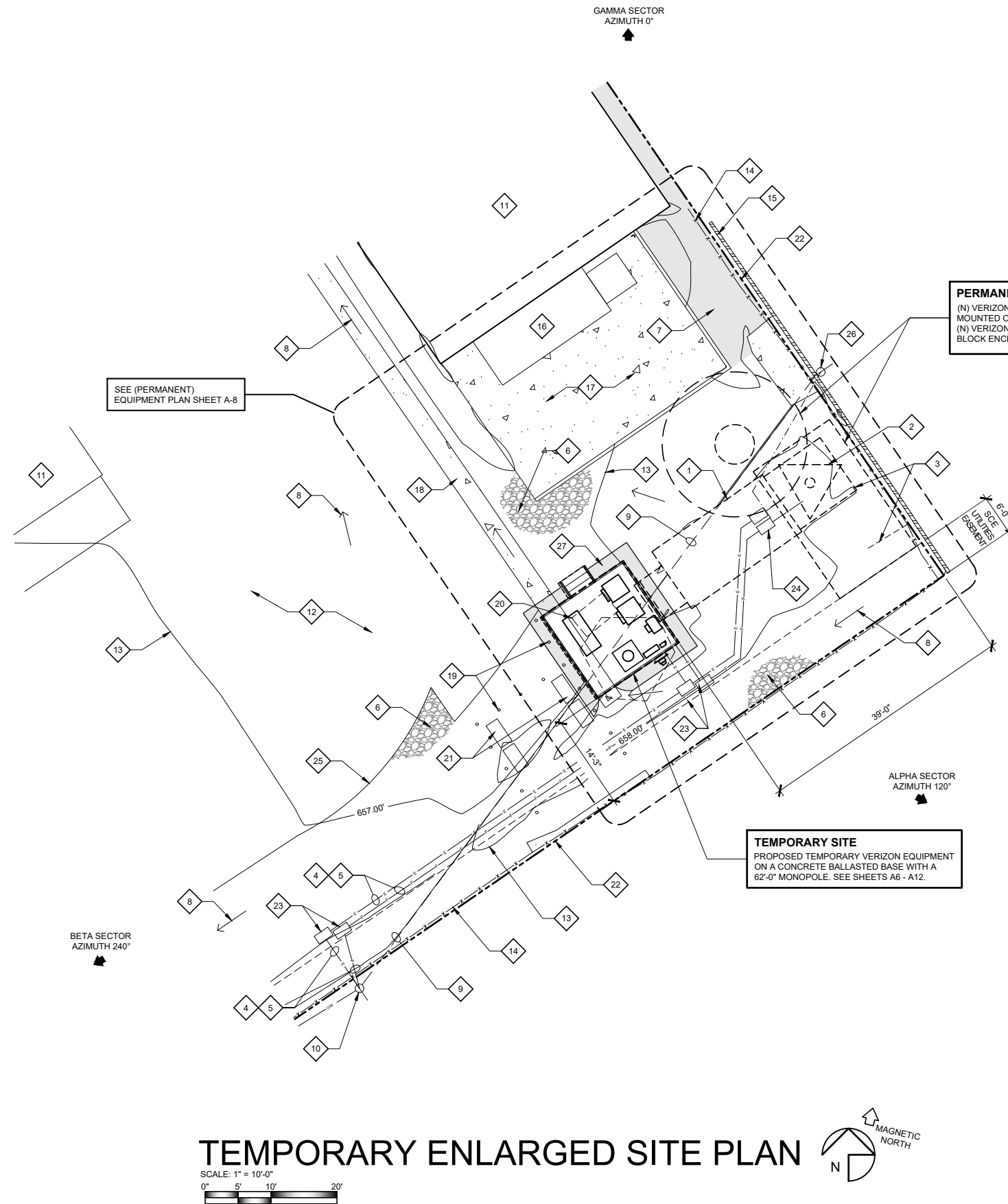
GAMMA SECTOR  
AZIMUTH 0°

ALPHA SECTOR  
AZIMUTH 120°

APN: 107-320-015

BOUNDARY NOTE:  
THE PROJECT BOUNDARY SHOWN ON APPROXIMATE AND IS SHOWN FOR COMPLETE BOUNDARY SURVEY WAS

**EXHIBIT 4**



SEE (PERMANENT) EQUIPMENT PLAN SHEET A-8

**PERMANENT SITE**  
 (N) VERIZON ANTEANNAS & RRU RADIO UNITS MOUNTED ON TRI-TRUNK-EUCALYPTUS & (N) VERIZON EQUIPMENT INSIDE CONCRETE BLOCK ENCLOSURE. SEE SHEETS A0 - A5.

**TEMPORARY SITE**  
 PROPOSED TEMPORARY VERIZON EQUIPMENT ON A CONCRETE BALLASTED BASE WITH A 62'-0" MONOPOLE. SEE SHEETS A6 - A12.

**KEYED NOTES:**

- 1 REMOVE (E) VERIZON EQUIPMENT BUILDING INCLUDING ALL INTERIOR EQUIPMENT, CONCRETE FOUNDATIONS, PADS & LANDINGS (SHOWN DASHED)
- 2 REMOVE (E) VERIZON 62'-0" HIGH WOOD POLE WITH ANTENNAS, RRU'S, MOUNTING BRACKETS & CABLES (SHOWN DASHED)
- 3 REMOVE (E) VERIZON CHAIN LINK FENCE ENCLOSURE AROUND WOOD POLE AND PARTIAL CHAIN LINK FENCE ON SOUTHEAST CORNER OF PROPERTY (SHOWN DASHED)
- 4 REROUTE (E) OVERHEAD VERIZON ELECTRICAL SERVICE FROM (E) UTILITY POLE UNDERGROUND TO PROPOSED TEMP LOCATION & TO (N) EQUIPMENT ENCLOSURE
- 5 REROUTE (E) OVERHEAD VERIZON FIBER SERVICE FROM (E) UTILITY POLE UNDERGROUND TO PROPOSED TEMP LOCATION & (N) EQUIPMENT ENCLOSURE
- 6 (E) GRAVEL & COMPACTED EARTH AROUND (E) VERIZON SHELTER & POLE
- 7 (E) UNPAVED COMPACTED EARTH (SHOWN SHADED)
- 8 (E) DRAINAGE PATTERN
- 9 (E) OVERHEAD UTILITY LINES TO BE RELOCATED UNDERGROUND
- 10 P.O.C. FOR BOTH POWER & FIBER AT (E) UTILITY POLE #1822301E. VERTICAL CONDUIT DROP DOWN POLE TO JOINT TRENCH.
- 11 (E) BUILDING
- 12 (E) ASPHALT DRIVEWAY "NO PARKING" FIRE LANE STRIPES
- 13 (E) CONTOUR LINES @1'-0" INTERVALS
- 14 (E) CHAIN LINK FENCE WITH BARBED WIRE TO REMAIN
- 15 (E) CONCRETE BLOCK WALL TO REMAIN
- 16 (E) COMMERCIAL TRASH COMPACTOR
- 17 (E) CONCRETE LOADING PAD
- 18 (E) CONCRETE DRAINAGE SWALE
- 19 (E) CONCRETE FILLED BOLLARDS TO REMAIN (TYPICAL)
- 20 (E) ABANDONED FUEL TANK TO BE REMOVED BY OWNER (SHOWN DASHED)
- 21 (E) PROPANE TANKS INSIDE METAL STORAGE CAGES TO REMAIN
- 22 PROPERTY LINE, TYPICAL
- 23 (N) 17" x 30" HANDHOLES WITH CONCRETE COVER (3) FOR FIBER, (3) FOR POWER, (6) TOTAL
- 24 (N) 17" x 30" HANDHOLES WITH CONCRETE COVER FOR FUTURE POWER & FIBER
- 25 EDGE OF ASPHALT PAVING
- 26 (E) LIGHT STANDARD TO REMAIN
- 27 EDGE OF COMPACTED GRAVEL BASE

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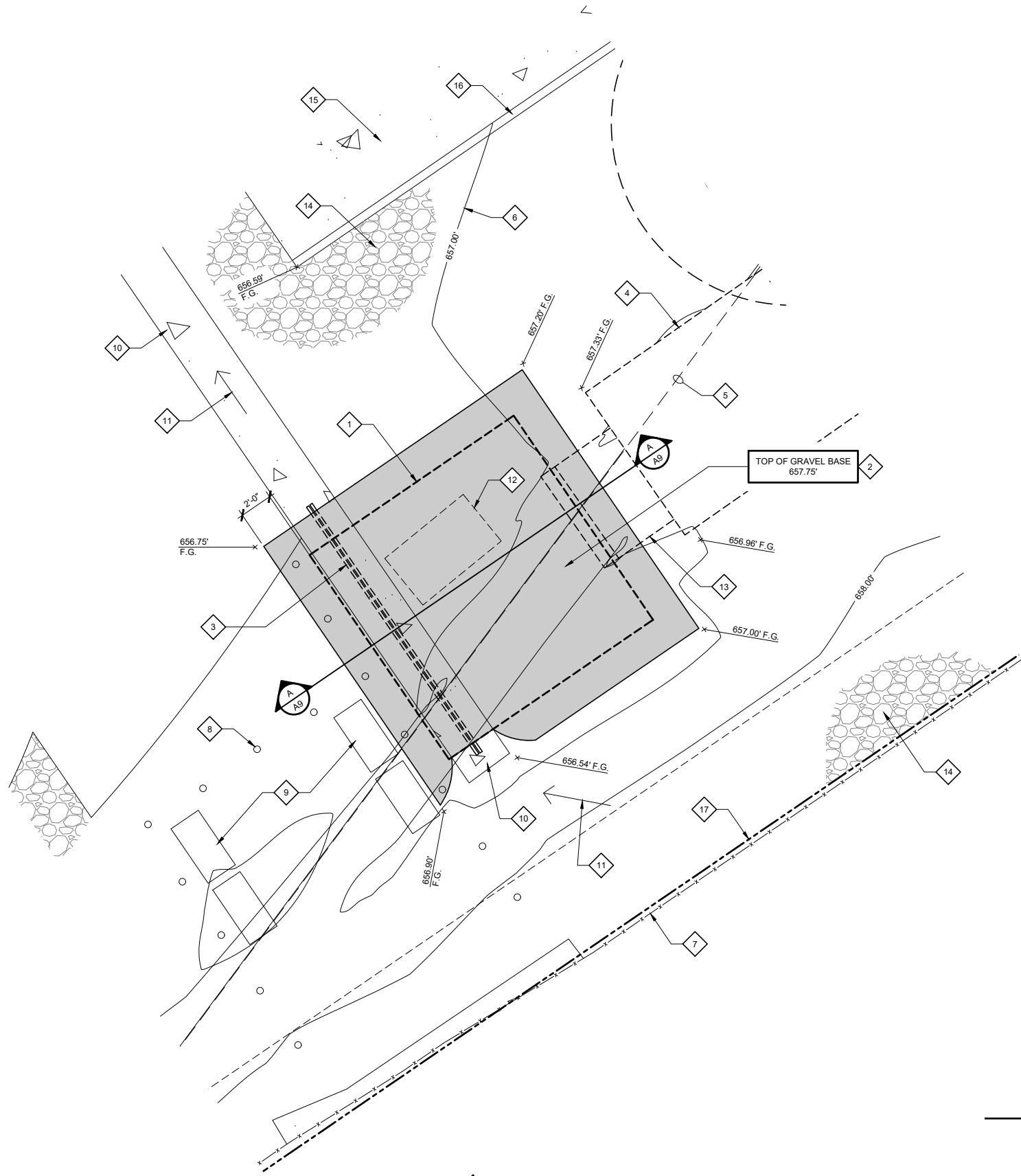
**TEMESCANYON**

PROJECT I.D. : 17276944  
 1660 LEESON LANE  
 CORONA, CA 92879

SHEET TITLE:  
 TEMPORARY ENLARGED SITE PLAN

**A-7**

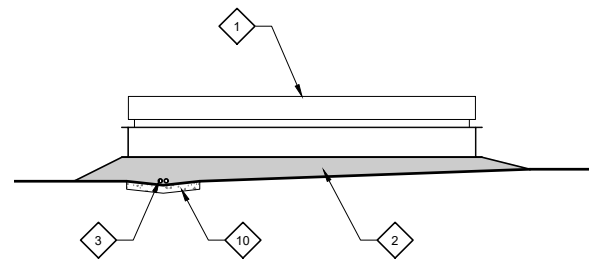




**KEYED NOTES:**

- 1 TEMPORARY 15'-6" x 15'-6" CONCRETE BALLAST BASE
- 2 (N) COMPACTED GRAVEL BASE (SHOWN SHADED)
- 3 (2) 2"Ø PVC PIPES ON FLOW LINE OF CONCRETE SWALE
- 4 REMOVE (E) VERIZON EQUIPMENT BUILDING INCLUDING ALL INTERIOR EQUIPMENT, CONCRETE FOUNDATIONS, PADS & LANDINGS (SHOWN DASHED)
- 5 (E) OVERHEAD UTILITY LINES TO BE RELOCATED UNDERGROUND
- 6 (E) CONTOUR LINES @1'-0" INTERVALS
- 7 (E) CHAIN LINK FENCE WITH BARBED WIRE TO REMAIN
- 8 (E) CONCRETE FILLED BOLLARDS TO REMAIN (TYPICAL)
- 9 (E) PROPANE TANKS INSIDE METAL STORAGE CAGES TO REMAIN
- 10 (E) CONCRETE DRAINAGE SWALE
- 11 (E) DRAINAGE PATTERN
- 12 (E) ABANDONED FUEL TANK TO BE REMOVED BY OWNER (SHOWN DASHED)
- 13 REMOVE (E) CONCRETE LANDING & STEPS
- 14 (E) GRAVEL & COMPACTED EARTH AROUND (E) VERIZON SHELTER & POLE
- 15 (E) CONCRETE LOADING PAD TO REMAIN
- 16 (E) CONCRETE LOW WALL TO REMAIN
- 17 PROPERTY LINE, TYPICAL

**GRADING NOTE:**  
 NO GRADING IS PROPOSED.  
 ALL SPOT ELEVATIONS ARE EXISTING.



**SECTION A**  
 SCALE: 1/4" = 1'-0"  
 0" 2" 4" 8"

**COMPACTED GRAVEL BASE FOR TEMPORARY PLATFORM**

SCALE: 1/4" = 1'-0"  
 0" 2" 4" 8"



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**TEMESCANYON**

PROJECT I.D. : 17276944  
 1660 LEESON LANE  
 CORONA, CA 92879

SHEET TITLE:  
 TEMPORARY PLATFORM BASE

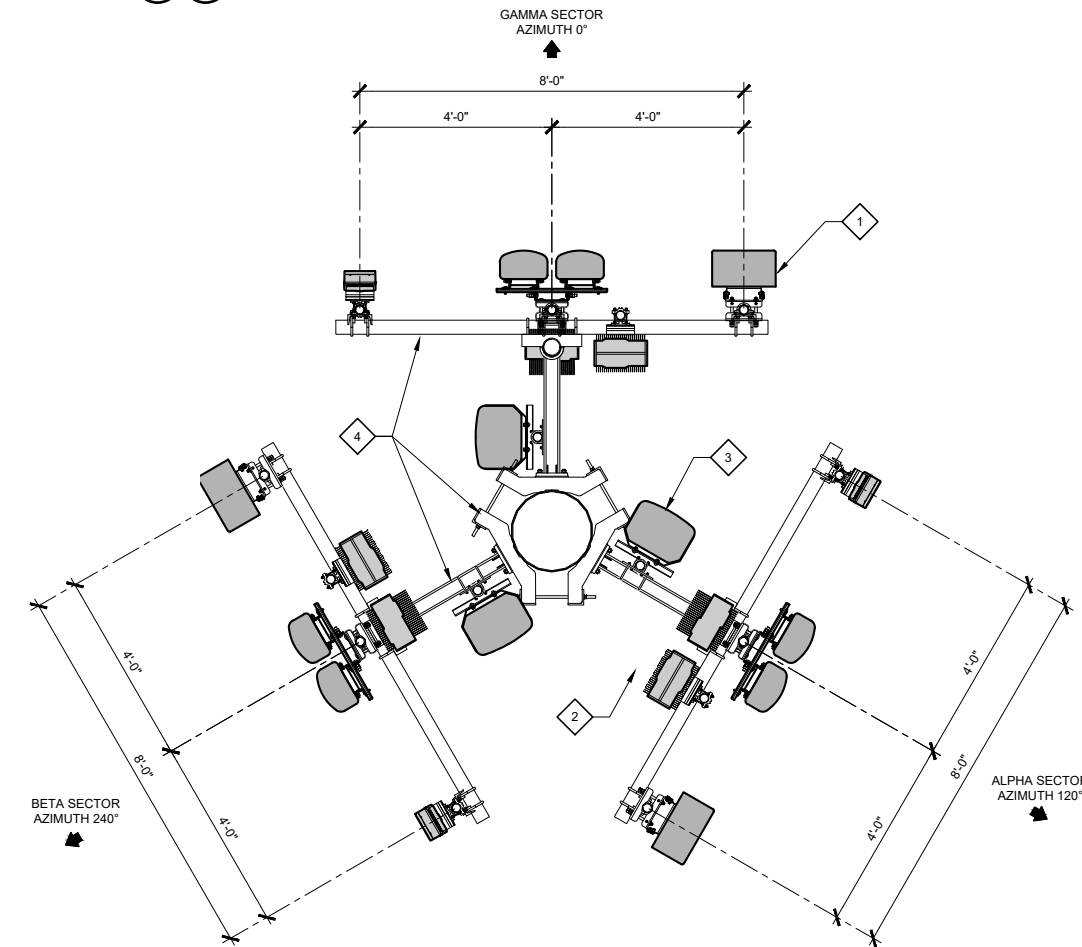
**A-9**

RFDS: T.B.D.

SECTOR	DIRECTION	AZIMUTH	MODEL	SIZE	RAD CENTER	RADIO TYPE	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+/- 5)	SURGE SUPPRESSOR	JUMPER LENGTH (+/- 3)
ALPHA1	SOUTHEAST	120°	ERICSSON: KRE105281/1	8.4" L x 7.9" W x 4.9" D	61'-6"	INTEGRAL WITH ANTENNA	(1) 6 x 12 HYBRID CABLE	85'-0"	(1)	6'-0"
ALPHA2			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4890				
ALPHA3			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4490				
ALPHA4			ERICSSON: AIR6419	31.3" L x 16.1" W x 9.8" D	60'-8"	INTEGRAL WITH ANTENNA				
BETA1	SOUTHWEST	240°	ERICSSON: KRE105281/1	8.4" L x 7.9" W x 4.9" D	61'-6"	INTEGRAL WITH ANTENNA	(1) 6 x 12 HYBRID CABLE	85'-0"	(1)	6'-0"
BETA2			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4890				
BETA3			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4490				
BETA4			ERICSSON: AIR6419	31.3" L x 16.1" W x 9.8" D	60'-8"	INTEGRAL WITH ANTENNA				
GAMMA1	NORTH	0°	ERICSSON: KRE105281/1	8.4" L x 7.9" W x 4.9" D	61'-6"	INTEGRAL WITH ANTENNA	(1) 6 x 12 HYBRID CABLE	85'-0"	(1)	6'-0"
GAMMA2			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4890				
GAMMA3			COMMSCOPE: NHH-65C-R2B	96.0" L X 11.9" W X 7.1" D	58'-0"	(1) RRU 4490				
GAMMA4			ERICSSON: AIR6419	31.3" L x 16.1" W x 9.8" D	60'-8"	INTEGRAL WITH ANTENNA				

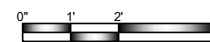
NOTES:

- ① INSTALL (12) ANTENNAS: (3) ERICSSON KRE105281/1: 8.4" LENGTH X 7.9" WIDE X 4.9" DEEP, WEIGHT: 11.0 LBS  
(6) COMMSCOPE NHH-65C-R2B: 96.0" LENGTH X 11.9" WIDE X 7.1" DEEP, WEIGHT: 51.6 LBS  
(3) ERICSSON AIR6419: 31.3" LENGTH X 16.1" WIDE X 9.8" DEEP, WEIGHT: 71.0 LBS
- ② INSTALL (1) 6 x 12 HYBRID FIBER POWER CABLE FOR EACH SECTOR (TOTAL OF 3)
- ③ INSTALL (1) DEMARCATION JUNCTION BOX (RAYCAP SURGE SUPPRESSOR) FOR EACH SECTOR (TOTAL OF 3) SEE DETAILS
- ④ INSTALL (2) RRU UNITS FOR EACH SECTOR, (TOTAL OF 6). SEE DETAILS
- ⑤ 4408-B48 RRU UNITS ARE INTEGRAL WITH KRE105281/1 ANTENNAS
- ⑥ RRU UNITS ARE INTEGRAL WITH AIR6419 ANTENNAS



## TEMPORARY ANTENNA & MONOPOLE PLAN

SCALE: 1/2" = 1'-0"



### ANTENNA PLAN NOTES:

- ① (N) VERIZON ANTENNAS MOUNTED TO CROSS ARMS ON A (N) 62'-0" HIGH ANTENNA SUPPORT STRUCTURE (TOTAL OF 12). SEE DETAILS
- ② (N) VERIZON RADIO UNITS MOUNTED BEHIND ANTENNAS (TOTAL OF 6). SEE DETAILS
- ③ (N) VERIZON RAYCAP DC SURGE SUPPRESSOR MOUNTED ON STAND-OFF ARMS ON A (N) 62'-0" HIGH ANTENNA SUPPORT STRUCTURE (TOTAL OF 3). SEE DETAILS
- ④ (N) 62'-0" HIGH MONOPOLE & ANTENNA SUPPORT STRUCTURE, STAND-OFF ARMS & CROSS ARMS. SEE SHEETS T-1, N-1 & S-1 THROUGH S-4

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TELECOMMUNICATIONS PROJECT MANAGEMENT

16776 BERNARDO CENTER DRIVE, UNIT 203  
SAN DIEGO, CA 92128

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**verizon**  
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BUILDING C  
IRVINE, CA 92618

TEMESCANYON

PROJECT I.D.: 17276944  
1660 LEESON LANE  
CORONA, CA 92879

SHEET TITLE:  
TEMPORARY ANTENNA  
& MONOPOLE PLAN

A-10

**ISSUE STATUS**

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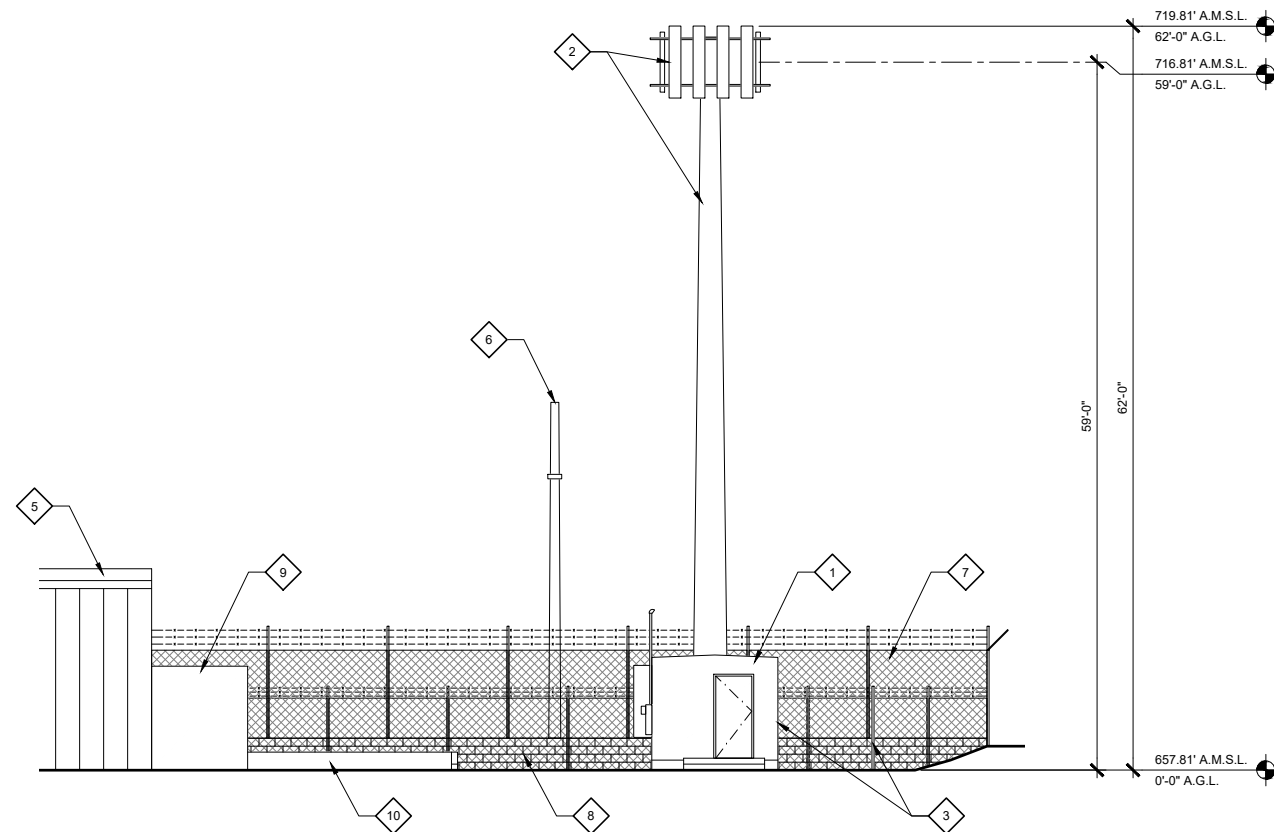
**verizon**  
15505 SAND CANYON AVENUE  
BUILDING C  
IRVINE, CA 92618

**TEMESCANYON**

PROJECT I.D. : 17276944  
1660 LEESON LANE  
CORONA, CA 92879

SHEET TITLE:  
TEMPORARY  
EXTERIOR ELEVATIONS

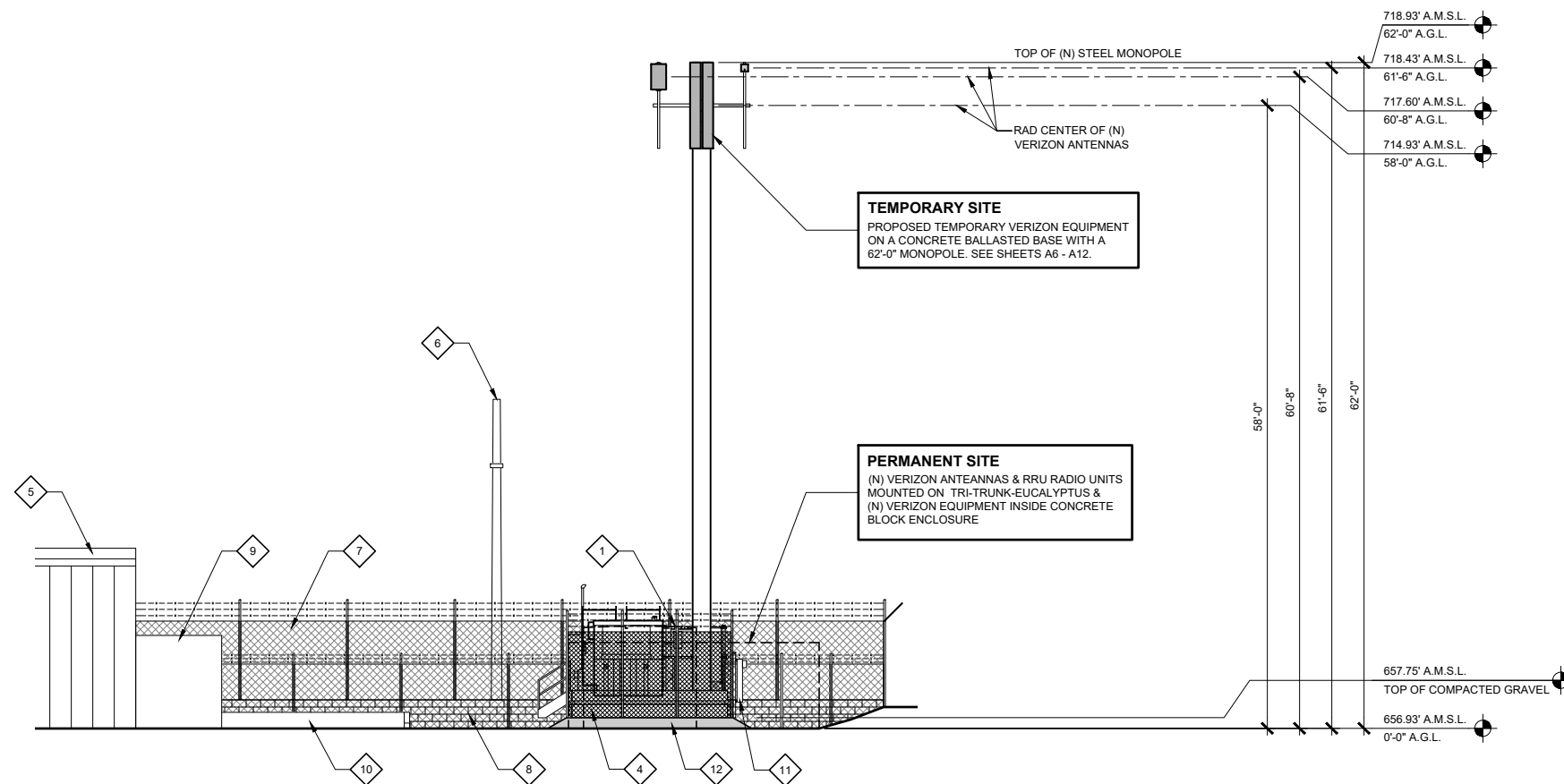
**A-11**



**(E) WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**KEYED NOTES:**

- 1 REMOVE (E) VERIZON EQUIPMENT BUILDING INCLUDING ALL INTERIOR EQUIPMENT, CONCRETE FOUNDATIONS, PADS & LANDINGS
- 2 REMOVE (E) VERIZON 62'-0" HIGH WOOD POLE WITH ANTENNAS, RRUS, MOUNTING BRACKETS & CABLES
- 3 REMOVE (E) VERIZON CHAIN LINK FENCE ENCLOSURE AROUND WOOD POLE AND PARTIAL CHAIN LINK FENCE ON SOUTHEAST CORNER OF PROPERTY
- 4 TEMPORARY CONCRETE BALLAST BASE
- 5 (E) BUILDING
- 6 (E) LIGHT STANDARD TO REMAIN
- 7 (E) CHAIN LINK FENCE WITH BARBED WIRE BEYOND (TO REMAIN)
- 8 (E) CONCRETE BLOCK WALL TO REMAIN
- 9 (E) COMMERCIAL TRASH COMPACTOR
- 10 (E) CONCRETE LOADING PAD AND WALL
- 11 (N) TEMPORARY ELECTRICAL METER MOUNTED TO UNISTRUT H-FRAME
- 12 (N) COMPACTED CRUSHED 3/4" GRAVEL BASE



**TEMPORARY WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	02/28/2023	90% ZD REVIEW	RL
1	06/02/2023	90% ZD DRM COMMENTS	RL
2	06/26/2023	100% ZD	RL
3	11/06/2032	ENCL. SIZE INCREASE	RL
4	12/18/2023	REVISED 90% ZD	RL
5	01/10/2024	100% ZD	RL
6	08/16/2024	CITY STAFF COMMENTS	RL
7	10/21/2024	COMBINED PERM & TEMP	RL

**PLANCOM**  
TELECOMMUNICATIONS PROJECT MANAGEMENT  
16776 BERNARDO CENTER DRIVE, UNIT 203  
SAN DIEGO, CA 92128

**PROPRIETARY INFORMATION**

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON

**verizon**  
15505 SAND CANYON AVENUE  
BUILDING C  
IRVINE, CA 92618

**TEMESCANYON**

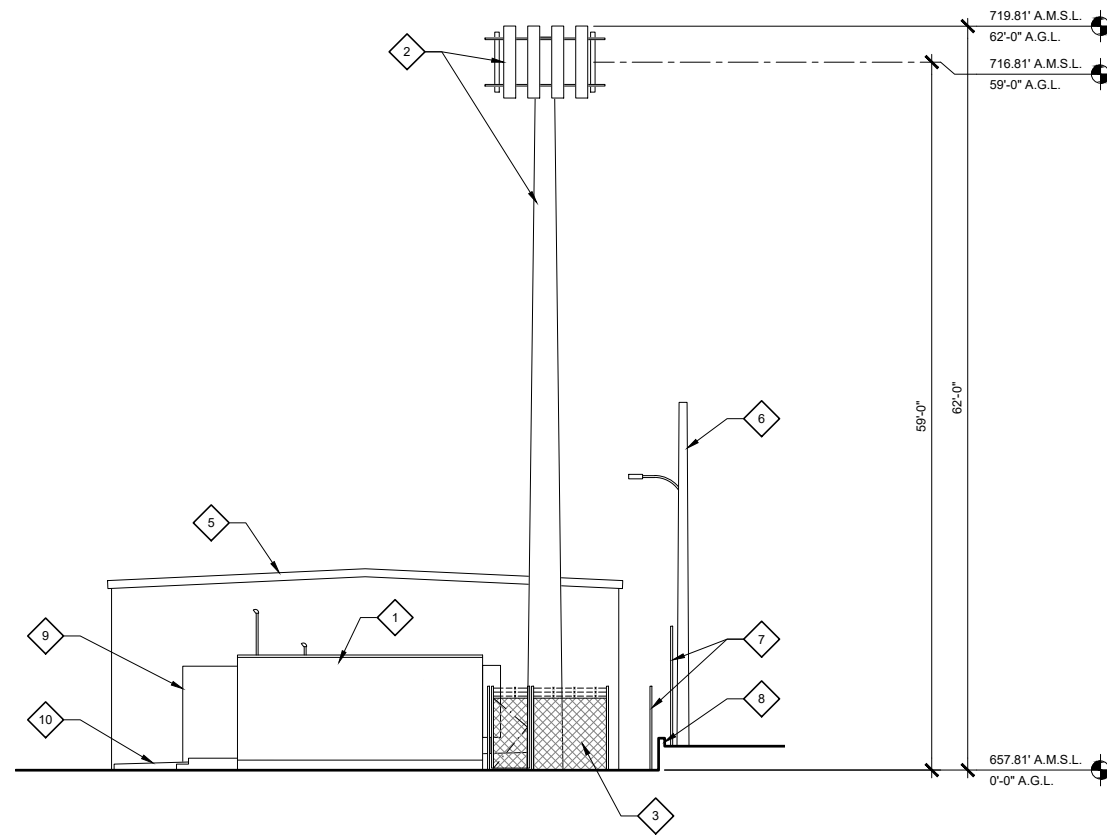
PROJECT I.D. : 17276944  
1660 LEESON LANE  
CORONA, CA 92879

SHEET TITLE:  
TEMPORARY EXTERIOR ELEVATIONS

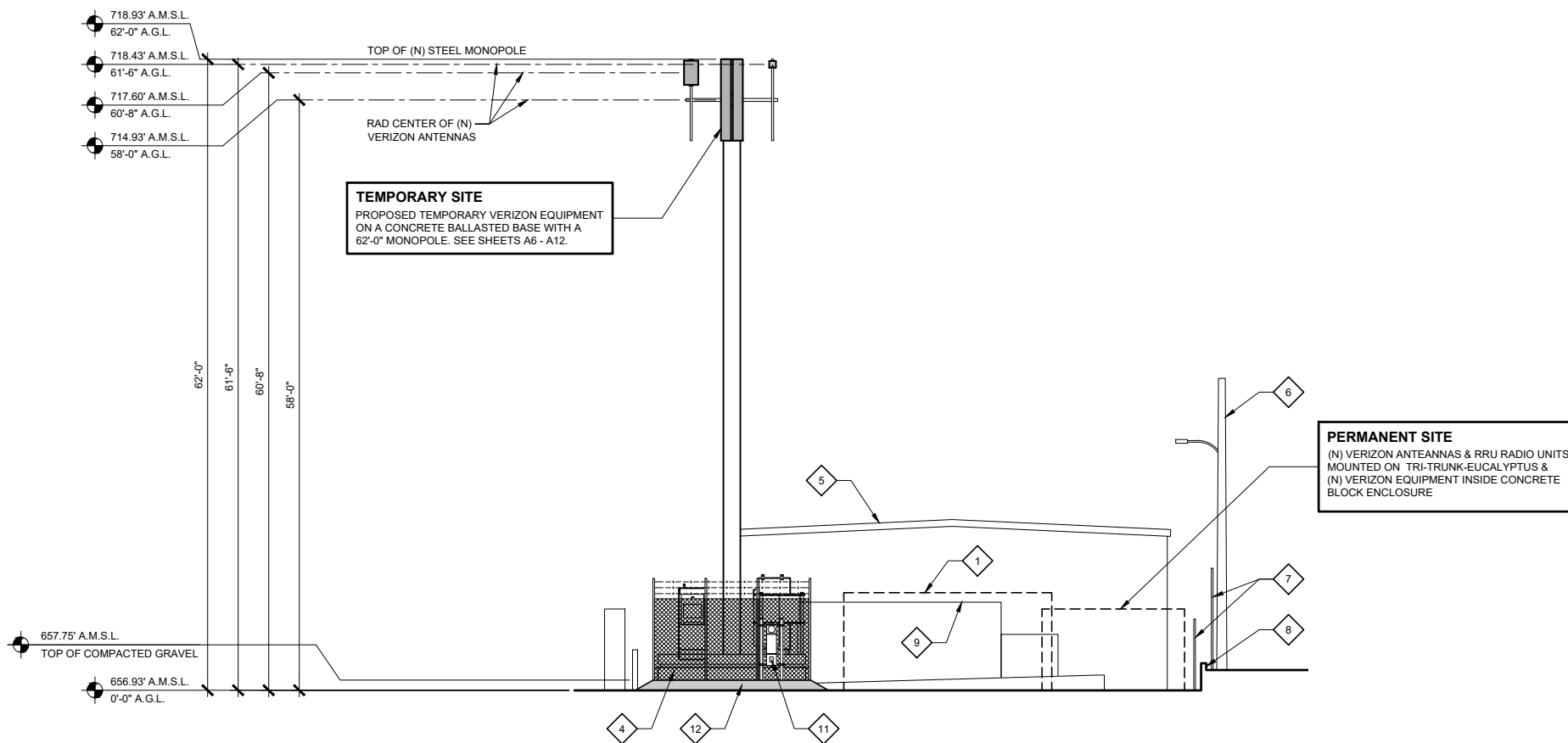
**A-12**

**KEYED NOTES:**

- 1 REMOVE (E) VERIZON EQUIPMENT BUILDING INCLUDING ALL INTERIOR EQUIPMENT, CONCRETE FOUNDATIONS, PADS & LANDINGS
- 2 REMOVE (E) VERIZON 62'-0" HIGH WOOD POLE WITH ANTENNAS, RRUS, MOUNTING BRACKETS & CABLES
- 3 REMOVE (E) VERIZON CHAIN LINK FENCE ENCLOSURE AROUND WOOD POLE AND PARTIAL CHAIN LINK FENCE ON SOUTHEAST CORNER OF PROPERTY
- 4 TEMPORARY CONCRETE BALLAST BASE
- 5 (E) BUILDING
- 6 (E) LIGHT STANDARD TO REMAIN
- 7 (E) CHAIN LINK FENCE WITH BARBED WIRE BEYOND (TO REMAIN)
- 8 (E) CONCRETE BLOCK WALL TO REMAIN
- 9 (E) COMMERCIAL TRASH COMPACTOR
- 10 (E) CONCRETE LOADING PAD AND WALL
- 11 (N) LOCATION FOR TEMPORARY ELECTRICAL METER
- 12 (N) COMPACTED CRUSHED 3/4" GRAVEL BASE



**(E) SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**TEMPORARY SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**EXISTING**

**Temescarona**  
1660 Leeson Lane  
Corona, CA 92879



Proposed monoecalyptus



**EXHIBIT 5**

*PROPOSED*

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

**EXISTING**



**Temescarona**  
1660 Leeson Lane  
Corona, CA 92879



Proposed monoecalyptus

**PROPOSED**

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

4/25/2024

**Photosimulation of proposed telecommunications site: View west toward site from Temescal Street**

**EXISTING**

**Temescarona**  
1660 Leeson Lane  
Corona, CA 92879



Proposed monoecalyptus



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

**PROPOSED**

# ATC TEMESCANYON Propagation Map

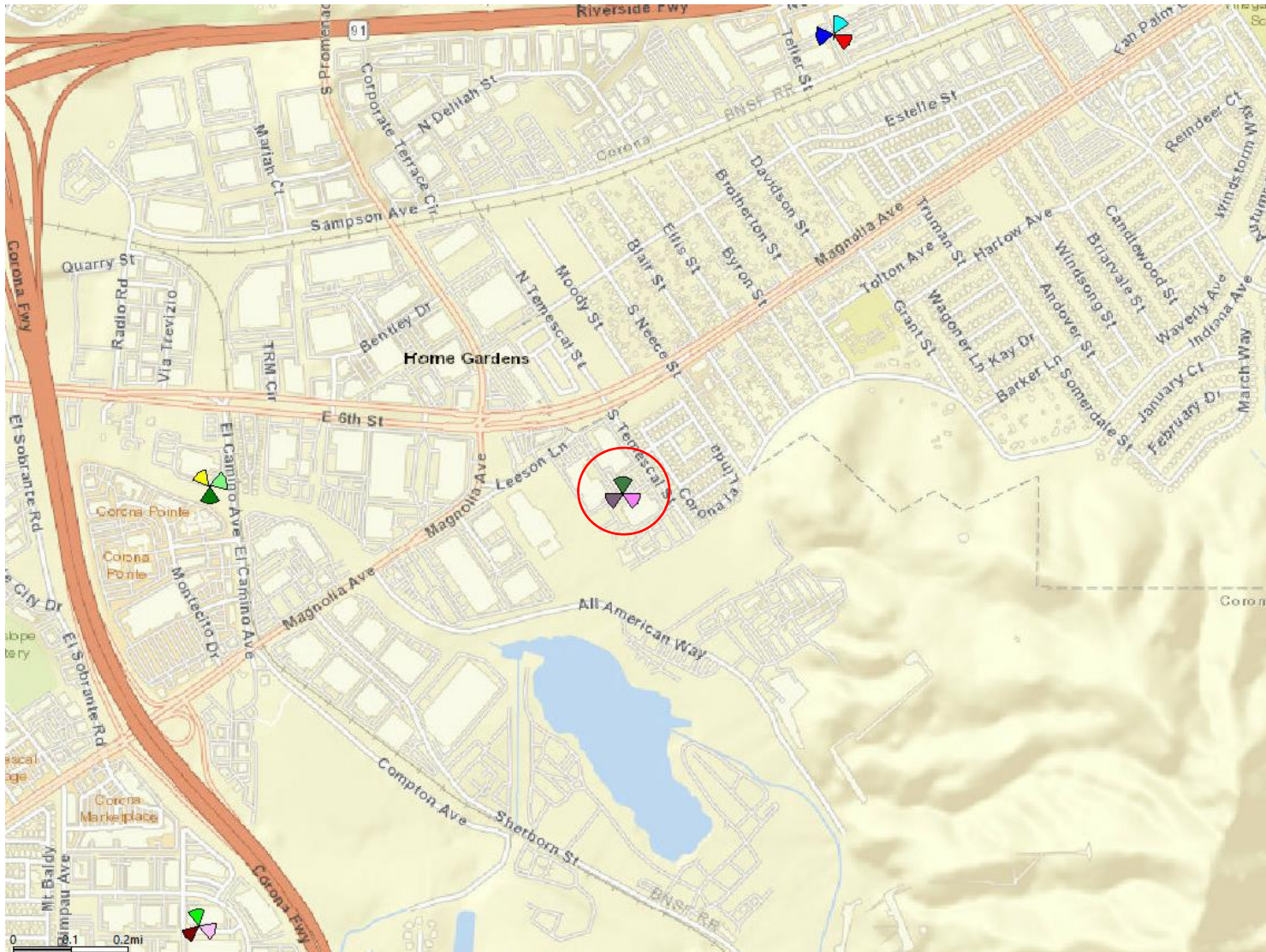
May 8, 2025



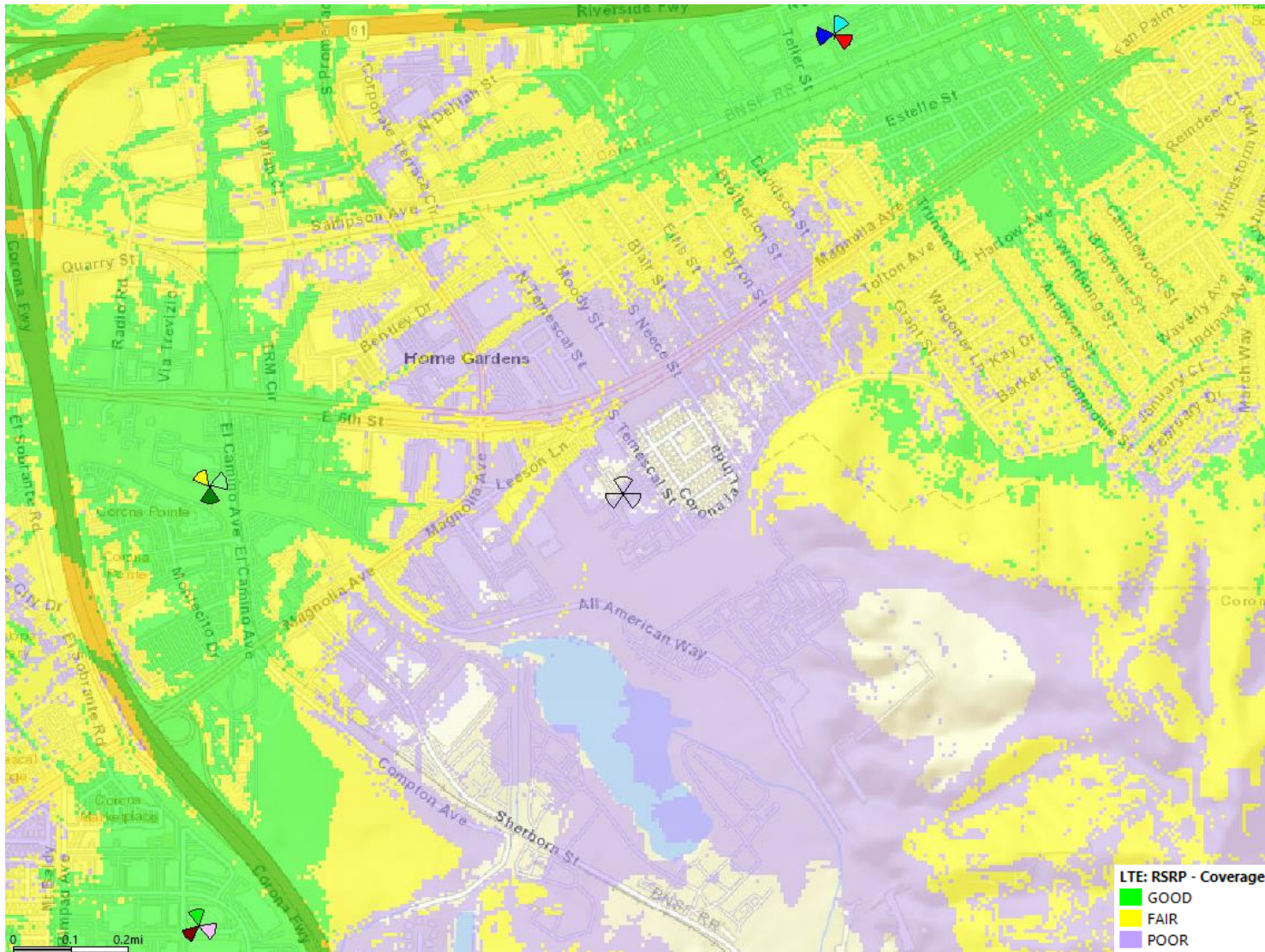
Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

**EXHIBIT 6**

# Overview Map

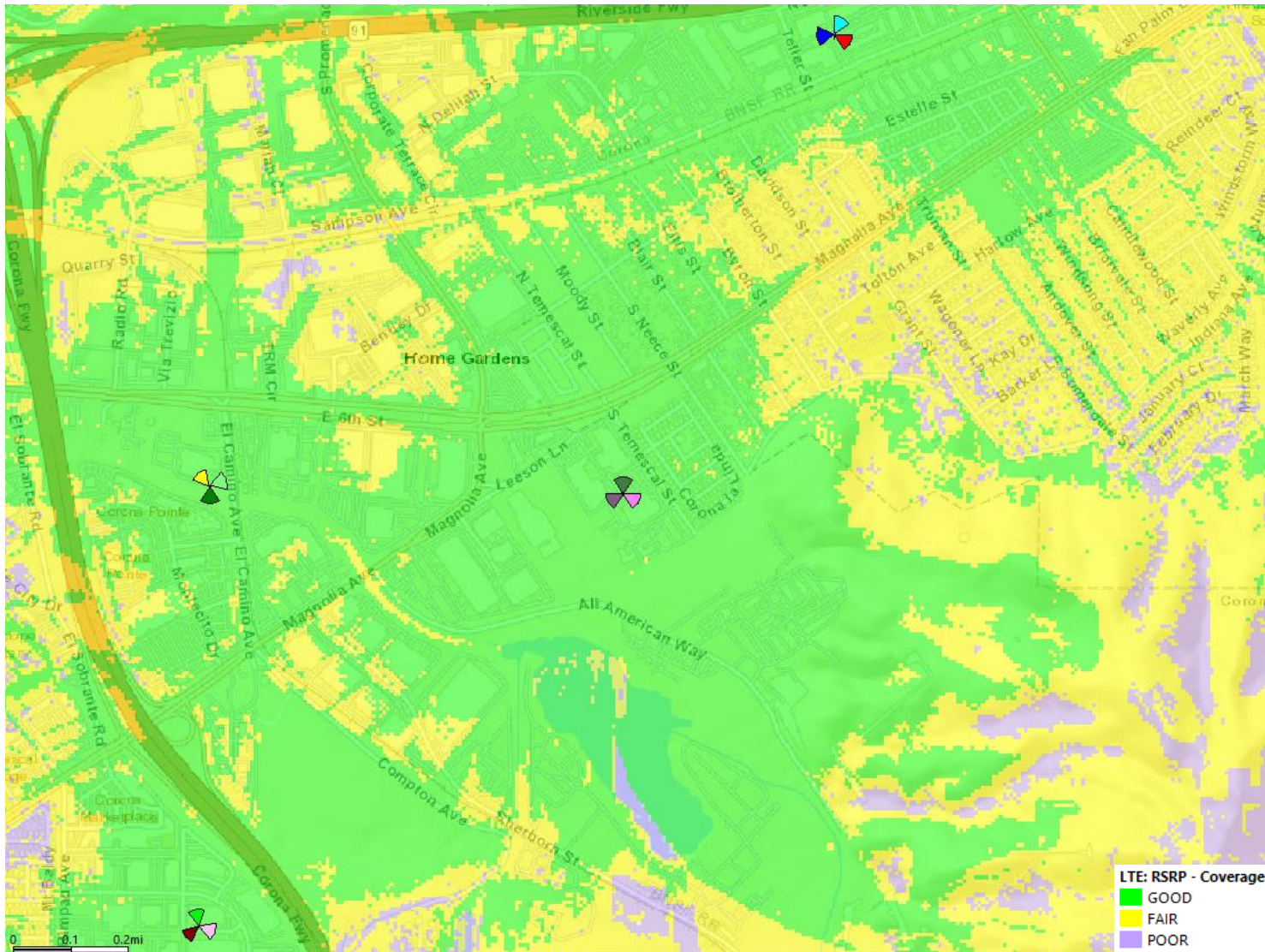


# Verizon Coverage without ATC TEMESCANYON



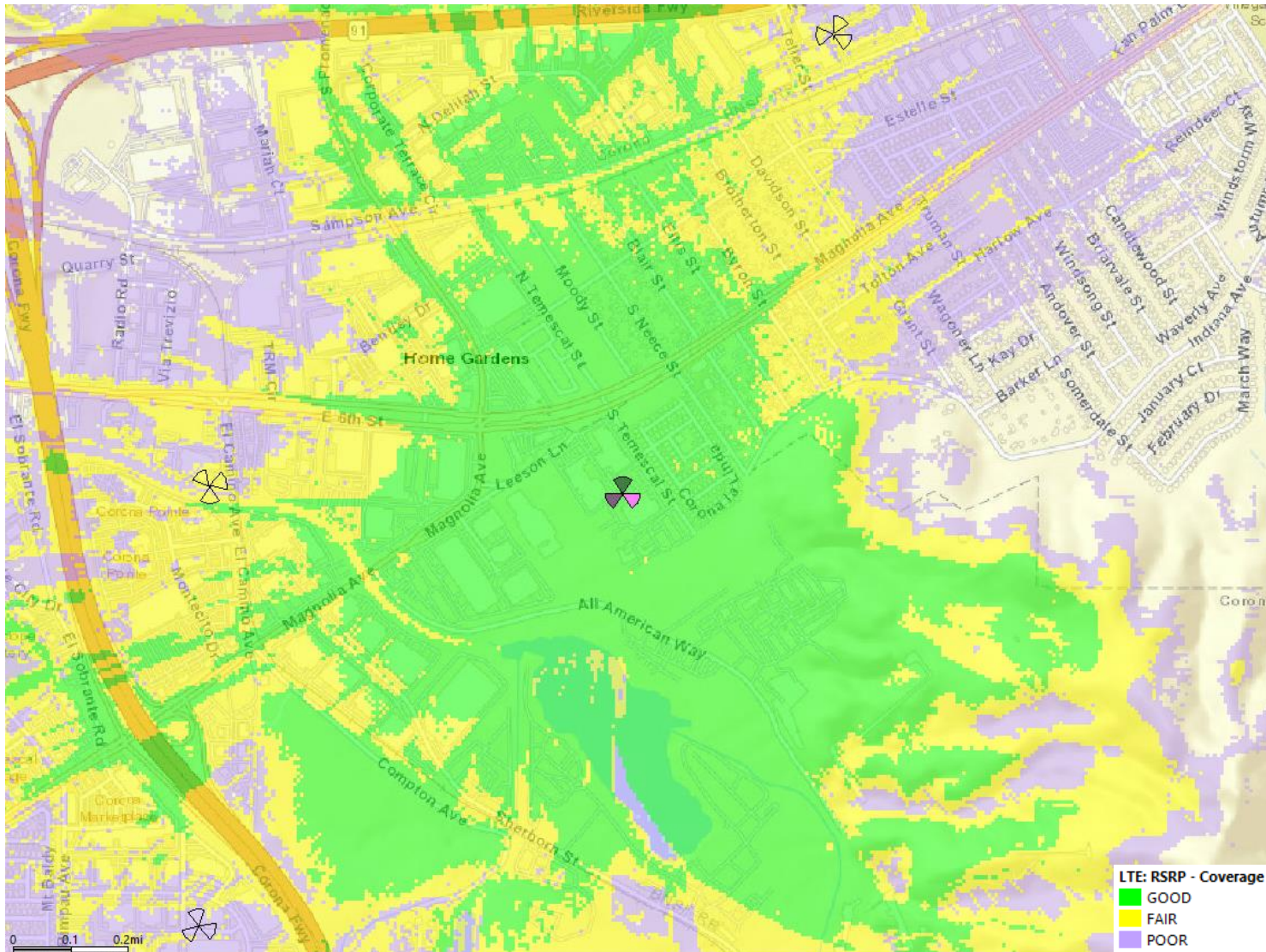
Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

# Verizon Coverage with ATC TEMESCANYON



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

# ATC TEMESCANYON Coverage Only



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.



# Project Conditions

## City of Corona

**Project Number: CUPM2024-0002**

Description: **Cell Site Modification to CUP92-02**

Applied: **4/30/2024**

Approved: **5/28/2025**

Site Address: **1660 LEESON AVE CORONA, CA 92879**

Closed:

Expired: **5/28/2027**

Status: **APPROVED**

Applicant: **VERIZON WIRELESS**

Parent Project:

**15505 SAND CANYON RD BLD C IRVINE, CAIRVINE CA, 92618**

Details: **Application to modify Conditional Use Permit CUP92-02 to replace an existing 62-foot-tall wireless telecommunication tower with a new 67-foot-tall wireless telecommunications tower disguised as a eucalyptus tree, located at 1660 Leeson Lane (APN 107-320-015) in the M-3 (Heavy Manufacturing) Zone.**

### LIST OF CONDITIONS

DEPARTMENT	CONTACT
BUILDING	Anthony Hurley
<ol style="list-style-type: none"> <li>1. Construction activity shall not occur between the hours of 8:00 pm to 7:00 am, Monday thru Saturday and 6:00 pm to 10:00 am on Sundays and Federal Holidays.</li> <li>2. The Project shall be designed to show compliance with the latest adopted edition of the following codes as applicable:               <ol style="list-style-type: none"> <li>A. California Building Code</li> <li>B. California Residential Code</li> <li>C. California Electrical Code</li> <li>D. California Mechanical Code</li> <li>E. California Plumbing Code</li> <li>F. California Energy Code</li> <li>G. California Fire Code</li> <li>H. California Green Building Standards Code</li> <li>I. Including local amendments, and the Corona Municipal Code</li> </ol> </li> <li>3. At the time of Building Plan Check submittal, the applicant shall comply with the city's plan check submittal requirements which includes the following: Plot Plan * Foundation Plan * Floor Plan * Ceiling and roof framing plan * Electrical Plans (electrical service shall be underground per Corona Municipal Code chapter 15.60), including size of main switch, number and size of service entrance conductors, single line diagram, circuit schedule and demand load calculations * Plumbing plans including sewer or septic tank location, minimum number of plumbing fixture calculations, isometric diagram including underground piping, water and drainage fixture unit calculations and pipe sizing including meter and building supply, gas piping and roof venting plan * Mechanical plan, heating and air conditioning diagram, equipment schedule * Landscape and Irrigation plans - Paper submittals shall include four (4) complete sets detached from building plans. Refer to the city's plan check submittal requirements and checklists for a complete list.</li> <li>4. Paper plan submittals shall include two (2) sets of structural calculations, energy conservation calculations and soils reports. Architects/Engineers stamp and wet signature is required prior to submittal of plan check.</li> <li>5. Separate permits are required for all new site fences and walls.</li> <li>6. An approved Construction Waste Management Plan and Recycling Worksheets shall be kept on site and maintained by the applicant, and made available for inspection by City representatives at all times in accordance with the California Green Building Standards Code. Documentation which demonstrates compliance with the minimum recycling of waste materials required by CAL Green shall be provided to the building inspector prior to issuance of Certificate of Occupancy or Final Approval.</li> <li>7. All fees, including but not limited to, occupancy fees, property development tax, and school fees must be paid in full prior to issuance of building permits. Any development impact fees that apply to the project must be paid in full prior to NIC or CofO issuance.</li> </ol>	



# Project Conditions

## City of Corona

<b>BUILDING</b>	<b>Anthony Hurley</b>
	<ol style="list-style-type: none"> <li>8. Project entitlement approvals shall be obtained prior to plan approval and issuance of Building permits. Final Conditions of Approval shall be made part of set of plans. [Conditions of approval shall be pasted on plans]</li> <li>9. Grading plans shall be approved and pads certified prior to Building permit issuance.</li> <li>10. Utilities shall meet the utility authority's service requirements. Applicant shall coordinate the utility locations and design with the respective utility provider.</li> <li>11. Project shall be designed to conform to the applicable edition of the California Building Standards Code including local amendments, and the Corona Municipal Code.</li> <li>12. Prior to beginning construction, obtain demolition permit for existing building, foundation, and utilities.</li> <li>13. The temporary Verizon equipment cabinets, antennas, RRU units &amp; raycap units mounted on the temporary 62' tall monopole shall be removed prior to the final sign off for the new permanent Monopole and equipment.</li> <li>14. Project site shall be kept clean, secure, safe, and BMPs installed and maintained, and follow all city, state, and county requirements and due standard of care.</li> </ol>
<b>FIRE</b>	<b>Xente Baker</b>
	<ol style="list-style-type: none"> <li>1. All projects shall comply with the City of Corona Fire Department Site Construction Standard. A copy of which is available at the coronaca.gov. Projects shall have approved all weather access from two (2) directions and fire hydrants providing the required fire flow tested and accepted prior to combustible construction.</li> <li>2. A Knox Box shall be provided for this business. To apply for a Knox product visit <a href="https://www.knoxbox.com/">https://www.knoxbox.com/</a></li> <li>3. Provide Class A roofing material on all structures per the Corona Municipal Code.</li> <li>4. A specific address, assigned by the City of Corona, Public Works Department, shall be provided for each building as specified by the fire department address standard which can be obtained at coronaca.gov/fire. Addresses must be illuminated during all hours of darkness.</li> <li>5. Ensure existing address numerals are 12" in height, placed on the street side of the facility and illuminated during all hours of darkness.</li> <li>6. Fire extinguishers shall be provided prior to occupancy. Fire extinguishers shall bear a California State Fire Marshal's service tag; it shall be appropriately rated for the hazard; it shall be mounted so that the top of the extinguisher is no higher than five (5) feet above floor level; and shall be located such that the travel distance to an extinguisher does not exceed seventy-five (75) feet.</li> <li>7. Storage, Use and Dispensing of hazardous materials shall be in accordance with the California Building and Fire Code.</li> <li>8. Plans make reference to LPG containers being stored in a metal cage. Please identify the aggregate amount of LPG that will either handled, stored or used on site. You shall also be required to update your CERS inventory to reflect the LPG.</li> <li>9. The existing NFPA 704 Placard shall be updated/revised to reflect the hazard rating associated with LPG.</li> </ol>
<b>PLANNING</b>	
	<ol style="list-style-type: none"> <li>1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.</li> </ol>



# Project Conditions

## City of Corona

### PLANNING

2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.
3. This permit hereby allowed is conditional upon the privileges being utilized by the securing of the first permit thereof, or compliance with all conditions on the granting of this conditional use permit within two (2) years after the effective date thereof, and if they are not utilized, or construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have lapsed.
4. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC) and ordinances and the Location, Development And Design Guidelines And Standards For Telecommunications Facilities ("Wireless Telecommunications Design Guidelines"), including the payment of all required fees.
5. The applicant shall comply with any additional permit or license issued by a local, state, or federal agency which has jurisdiction over the wireless telecommunication facility.
6. The applicant shall maintain compliance at all times with all federal, state and local statutes, rules, regulations, orders and standards ("Laws") applicable to the applicant, the property located at 1660 Leeson Lane, the wireless telecommunication facility or any use or activities in connection with the use authorized by CUPM2024-0002, including, without limitation, any Laws applicable to human exposure to RF emissions and any Laws of the Federal Communications Commission (FCC), the Riverside County Airport Land Use Commission (RCALUC), the Federal Aviation Administration (FAA), and the California Public Utilities Commission (CPUC).
7. The wireless telecommunication facility shall be maintained in a manner consistent with the original intent and approval of CUPM2024-0002.
8. Any modifications or expansion to this wireless telecommunications facility shall be reviewed and approved by the Planning and Development Department prior to the issuance of a building permit.
9. If the wireless telecommunications facility becomes non-operational or is discontinued, the applicant shall remove the wireless telecommunication facility, equipment from the project site, and returned to its original condition.
10. Development of the wireless communications facility shall be in substantial conformance with all plans and exhibits included with the Planning and Housing Commission staff report for CUPM2024-0002.
11. The antennas, antenna arrays, RRUs, Raycap units, and all other equipment mounted onto the tower shall be painted green to match the mono-eucalyptus foliage. Additionally, the antennas shall be covered by "socks" that are textured to mimic the eucalyptus foliage, and the tree bark shall have the same texture and color as the existing live eucalyptus trees that are to the east the project site. The applicant shall provide the Planning Division a sample tree leaf and bark palette for approval prior to the issuance of a building permit.
12. The applicant shall provide after-hours contact information on the equipment cabinets.
13. The project approved under CUPM2024-0002 shall comply with the Western Riverside County Regional Conservation Authority's (RCA) project conditions found in Section 6.1.4 and Best Management Practices (BMP) found in Appendix C of the JPR Findings and Maps prepared for the project (JPR 25-02-12-01).
14. The temporary tower shall be removed from the property upon the expiration of CUPM2024-0002 or upon receiving a Building final for the permanent tower, whichever comes first. [AMENDED BY THE PLANNING AND HOUSING COMMISSION ON MAY 28, 2025]
15. The proposed telecommunications facility shall be built to accommodate future colocations from other carriers. During Building Plan Check the applicant is to submit a copy of the appropriate portions of the tentative lease agreement indicating that no exclusive agreements have been made to prevent future carriers to locate on the same site or facility, as well as submit a design plan, which does not preclude potential additional users.



# Project Conditions

## City of Corona

<b>PUBLIC WORKS</b>	<b>Michael Kallenbaugh</b>
<ol style="list-style-type: none"><li>1. The Public Works, Planning and Development, and Utilities Department comments for the subject application and shall be completed at no cost to any government agency. All questions regarding the intent of the comments shall be referred to the Planning and Development Department, Development Services Division. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.</li><li>2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions.</li><li>3. Prior to issuance of grading permit, the applicant shall demonstrate to the satisfaction of the City Engineer that the proposed project will not unreasonably interfere with the use of any easement holder of the property.</li><li>4. The submitted site plan shall correctly show all existing easements, traveled ways, and drainage courses. Any omission or misrepresentation of these documents may require said site plan to be resubmitted for further consideration.</li><li>5. All existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Corona ordinances.</li><li>6. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following: a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day. (b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the City Engineer or Building Official. (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site. Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.</li><li>7. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the City Engineer.</li><li>8. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the City Engineer.</li><li>9. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the City Engineer.</li></ol>	

## **VZW TEMESCARONA PROJECT NARRATIVE**

### **PROPOSED MODIFICATION**

The existing telecommunication facility consists of a 62' high wood pole with antennas, RRU's, mounting brackets and cables along with the prefabricated equipment building. The facility is located at the southeast corner of the property and is surrounded by a storage area for the primary uses of the property owner (Mission Rubber Company). This Conditional Use Permit (CUP) proposal includes removing the existing facility and replacing it with a new 67' tri-trunk MonoEucalyptus with antenna, RRU's, mounting brackets, cables, and a ground mounted equipment enclosure in generally the same rear corner of the property. The concrete block enclosure includes three (3) equipment cabinets, utility connections for power and fiber, along with a new 30kW generator with 221-gallon diesel fuel tank.

Verizon Wireless (VZW) currently provides wireless service at this existing telecommunications facility. The wood pole and equipment shelter are currently owned by American Tower Company (ATC). The property owner wanted the current facility to be shifted on the property and ATC will be removing their equipment, which leaves VZW to build a new permanent facility.

In order to construct the permanent facility in the same general location as the existing site, a temporary site is needed, to keep VZW's service active and not interrupted during construction of the new MonoEucalyptus and equipment enclosure. The temporary site consists of a steel pole with equipment cabinets on a concrete block foundation. While VZW will be asking for 12 months for the temporary use permit, it will only need to be up and on-air while permitting and then construction is completed.

The proposed project complies with Corona's Municipal Code guidelines, Section 17.65.050 (3) as the temporary facility is intended to provide telecommunications service for a one-time period, not to exceed 365 days, and can be conditioned with start and removal dates.

### **SITE DESIGN**

A tri-trunk MonoEucalyptus was selected to adequately screen the antennas and radios due to its rounded and natural shape. Additional screening measures include camouflaging of the antennas with 3M film and antenna socks, to further blend the equipment within the branches. While there are no existing trees on this industrial zoned lot, there are live mature eucalyptus trees just to the east of the property along South Temescal Street, which will allow it to blend into the existing built community. The new ground equipment will be within a new 8' high block wall enclosure to screen any off-site views.

This modification does not constitute a substantial change to the physical dimensions of the previously permitted, existing telecommunication facility. Key components are summarized below:

- The ground equipment will be in the same general area and size, within a concrete block enclosure that is lower in height, eight (8) feet instead of the 12-foot equipment building.
- The antenna structure is changing from a 62-foot wood pole to a 67-foot faux MonoBroadleaf, in order to comply with the City's current Zoning Ordinance. The additional five (5) feet in height is to accommodate the faux branching at the top of the pole, which conceals the antennas and radios. This allows the antenna centerline to stay consistent between the existing and proposed antenna structure.

### **SITE SELECTION**

The location for the existing telecommunication facility was chosen because of the coverage afforded by its strategic location and lack of nearby obstructions to allow a signal to reach the geographical service area. It is needed for both coverage and capacity. The goal is to continue providing wireless coverage along 6<sup>th</sup> Avenue, Magnolia, Sampson Avenue, All American Way and the surrounding industrial and residential properties in the vicinity. Without this site, there is little to no wireless coverage in the area. This site would also relieve some capacity off the adjacent sites, allowing them to work more optimally.

### **LOCATION GUIDELINES AND STANDARDS**

The project complies with the guidelines and standards for telecommunication facilities as outlined in the City's Code as noted below:

- A. The property is zoned M-3 (heavy industrial) and is in a preferred location for a telecommunication facility.
- B. This existing facility is not in a residential zone.
- C. Collocation is not available in this area and the buildings are too low to meet Verizon's coverage objectives. Existing visual buffers include industrial building surrounding the site and mature trees to the east.
- D. Verizon is utilizing a faux MonoEucalyptus that has been designed to conceal the antennas and radios from view, which is a state-of-the-art technology.
- E. While collocation is not available, the MonoEucalyptus is being designed for collocation, should another carrier find it suitable in the future. A future carrier would need to secure ground space from the underlying property owner.
- F. This is an existing site for Verizon and staff determined a coverage map was not needed with this application.

### **DEVELOPMENT AND DESIGN GUIDELINES AND STANDARDS**

This application meets the following development and design guidelines set forth by the City:

- A. Existing visual buffers include industrial buildings surrounding the site and mature trees to the east. Utilizing a faux MonoEucalyptus helps to screen the facility from view.
- B. The facility meets the applicable zoning setbacks of the underlying zone.
- C. Public art is not feasible in this facility as it is setback from public view within the rear of an industrially zoned property.
- D. The height of the support structure (MonoEucalyptus) is the minimum necessary to continue providing the required coverage for the community.
- E. The facility will comply with all required FAA lighting, if needed.
- F. The MonoEucalyptus is coated and painted in natural colors to mimic adjacent trees in the area.
- G. Utilities are being placed underground, where feasible.
- H. A concrete block wall fence is being used for the equipment enclosure.
- I. The facility is being designed to be compliant with all City building, electrical and noise codes, standards, etc.
- J. The facility will comply with all FCC licensing requirements, operating at the allotted radio bandwidths.



## NOTICE OF EXEMPTION

<p>TO:</p> <p><input type="checkbox"/> Office of Planning and Research P. O. Box 3044, Room 113 Sacramento, CA 95812-3044</p>	<p>FROM: Name: City of Corona, Planning &amp; Development Department (Public Agency)</p> <p>Address: 400 S. Vicentia Ave., Suite 120, Corona, CA 92882</p> <p>Telephone: 951-736-2434</p>
<p><input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address: 2724 Gateway Dr. Riverside, CA 92507</p>	

1. Project Title:	Conditional Use Permit Modification – CUPM2024-0002
2. Project Applicant:	Kerrigan Diehl from Plancom Inc., representing Verizon Wireless
3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15’ or 7 1/2’ topographical map identified by quadrangle name):	1660 Leeson Lane (APN 107-320-015)
4. (a) Project Location – City: Corona	(b) Project Location – County: Riverside
5. Description of nature, purpose, and beneficiaries of Project:	Application to modify Conditional Use Permit 92-02 to replace an existing 62-foot-tall wireless telecommunication tower with a new 67-foot-tall wireless telecommunications tower designed as a mono-eucalyptus tree.
6. Name of Public Agency approving project:	City of Corona
7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	Kerrigan Diehl from Plancom Inc., representing Verizon Wireless
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	

(c) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(d) <input checked="" type="checkbox"/> Categorical Exemption. State type and section number:	Per Section 15302 of the State Guidelines for Implementing the California Environmental Quality Act (CEQA) and Section 3.31 of the City's Local CEQA Guidelines, a Notice of Exemption has been prepared for the project because the project qualifies as a Class 2 (Replacement or Reconstruction) categorical exemption.
(e) <input type="checkbox"/> Declared Emergency.	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input type="checkbox"/> Other. Explanation:	
9. Reason why project was exempt:	Application to modify Conditional Use Permit 92-02 to replace an existing 62-foot-high wireless telecommunication tower with a new 67-foot-high wireless telecommunications tower designed as a mono-eucalyptus tree.

10. Lead Agency Contact Person: Telephone:	Brendan Dalde, Associate Planner (951) 739-4918
11. If filed by applicant: Attach Preliminary Exemption Assessment (Form "A") before filing.	
12. Has a Notice of Exemption been filed by the public agency approving the project? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
13. Was a public hearing held by the Lead Agency to consider the exemption? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, the date of the public hearing was: May 28, 2025	

\_\_\_\_\_  
Signature

Date: [Click to enter date](#)

\_\_\_\_\_  
Name

Title: [Click to enter title](#)

Signed by Lead Agency

Signed by Applicant

Date Received for Filing: [Click to enter date](#)

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.  
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.